

**From:** Hampden Recreation Dept. [mailto:[recreation@hampdenmaine.gov](mailto:recreation@hampdenmaine.gov)]  
**Sent:** Thursday, March 23, 2017 4:08 PM  
**To:** Beck, Doug  
**Subject:** LWCF 23-00481

Doug,  
Please provide us with an opinion on the following question.

Is the Town of Hampden obligated to continue to provide and maintain a dock at the public boat launch to be in compliance with LWCF funding requirements?

Please find attached a picture of the dock we are referring to, coming off the public ramp. The Town has also overlaid a map of town boundaries to help with this as the conversion map for file 23-00481 is so poorly visible. The newest section developed (post May 2015) can be seen on Google Aerial which includes new dedicated parking after conversion.

If we can receive an opinion sooner than later we would appreciate it! Council will reviewing this topic on Monday pm (3/27/17). Thanks for the help Doug.

Shelley Abbott  
Recreation Director

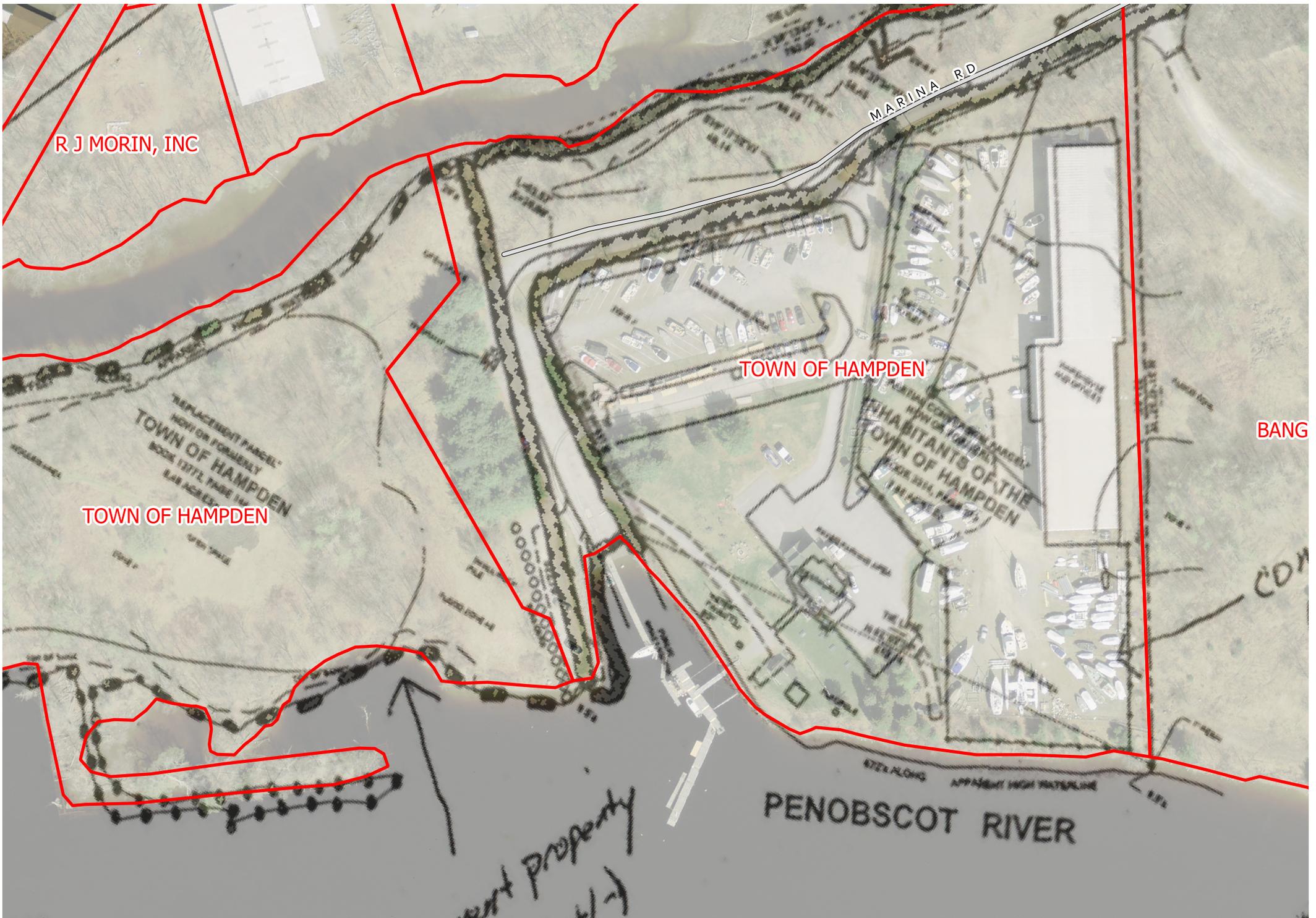
--

Hampden Recreation Department  
Town of Hampden  
106 Western Avenue (mailing)  
1 Main Road North (physical)  
Hampden, ME 04444

ph. [207-862-6451](tel:207-862-6451)  
fx. [207-862-5067](tel:207-862-5067)  
[www.hampdenmaine.gov](http://www.hampdenmaine.gov)

**Photo of Dock – November 16, 2015**





R J MORIN, INC

MARINA R.D

TOWN OF HAMPDEN

TOWN OF HAMPDEN

BANG

REPLACEMENT PARCEL  
NOW OR FORMERLY  
TOWN OF HAMPDEN  
8000 LITTLE TRAIL LN  
1.84 ACRES

REHABILITATION OF THE  
TOWN OF HAMPDEN

PENOBSCOT RIVER

ent property  
4/7

----- Forwarded message -----

From: **Beck, Doug** <[Doug.Beck@maine.gov](mailto:Doug.Beck@maine.gov)>  
Date: Fri, Mar 24, 2017 at 10:56 AM  
Subject: RE: LWCF 23-00481  
To: "Hampden Recreation Dept." <[recreation@hampdenmaine.gov](mailto:recreation@hampdenmaine.gov)>

Shelley,

After reviewing the project folder it is my opinion that the town is obligated to maintain the dock at the boat launch.

I base this opinion on language in the original and conversion documents as below and attached:

This excerpt above is from the Project Description and Environmental Screening Form submitted as part of the conversion documents and indicates that all facilities that were part of the original project were to be replicated as part of the converted facility.

- The photos attached are from 1984 and show the docks / floats as part of the original project.
- The post completion report from 1987 pp2 indicates that the floats were part of the originally funded work.
- The project description also indicates, more broadly, "boating facilities".
- The DNF (Description Notification Form) also part of the NPS documents submitted for the conversion request, (thus the designation Amendment #2), indicates at the section checked for "Boating Facilities" that both the launch ramp and berths are selected.

You should know that if you apply for LWCF assistance to rehabilitate a previously funded site you receive bonus points on the grant, and that a grant to rebuild and or replace floats such as these is an eligible project.

Let me know if you have any additional questions.

Have a great weekend.



Douglas S. Beck  
Outdoor Recreation Supervisor  
Grants & Community Recreation Program  
Bureau of Parks and Lands  
54 Independence Drive  
Augusta, Maine 04333  
[\(207\) 624-6090](tel:(207)624-6090)  
[Doug.Beck@Maine.gov](mailto:Doug.Beck@Maine.gov)

**Photos of Dock – circa 1981 (attachment to Doug Beck's email of 3/24/17)**



STATE OF MAINE  
BUREAU OF PARKS & RECREATION  
LAND & WATER CONSERVATION FUND  
and  
BOAT FACILITIES FUND  
PROJECT AGREEMENT

-----  
Political Subdivision TOWN OF HAMPDEN  
Project Title HAMPDEN BOAT FACILITY  
Project Period 9-29-81 to 12-31-86 Project No. 23-00481  
-----

Project Scope:

This project consists of the acquisition of 11+ acres of undeveloped land and the development of public boating facilities (Facility Type "F") by the Town of Hampden.

Project Costs: Total \$365,000 Federal \$182,500 State \$125,500 Local \$57,000  
-----

THIS AGREEMENT is hereby made between the STATE OF MAINE, by and through the BUREAU OF PARKS AND RECREATION, hereinafter called the State, and the ~~XXXXX~~ (Town) of Hampden hereinafter called the Recipient.

WITNESS:

WHEREAS, the United States of America, represented by the Director, Heritage Conservation and Recreation Service, United States Department of the Interior, and the State of Maine have entered into an agreement (which, with its attachments and all regulations and provisions incorporated therein, is hereinafter referred to as the "Project Agreement") pursuant to the Land & Water Conservation Fund Act of 1965, 78 Stat. 897 (1964) providing for the acquisition and/or construction of the above described project (hereinafter referred to as the "Project"), for the benefit of the Recipient; and,

WHEREAS, the Project Agreement between the United States of America and the State imposes responsibilities upon the State which the State has assured the United States of America will apply to the Recipient and which the Recipient agrees to perform;

NOW THEREFORE, for valuable consideration, the State and the Recipient agree as follows:

1. The Project Agreement is hereby attached and made a part of this Agreement, and the Recipient hereby agrees to discharge, perform, and fully satisfy all provisions of the Project Agreement directly or indirectly applicable to the Recipient, and the Recipient further agrees that it shall not, through any act or omission, violate any provisions of the Project Agreement.
2. In connection with all phases of the Project, including all work to be performed in the

development thereof, the Recipient agrees as follows:

- A. The Recipient shall comply with the provisions of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 (P. L. 91-646, 84 Stat. 1894) including amendments thereto and regulations thereunder, as provided by 1 M.R.S.A. 901 et seq.
  - B. The Recipient agrees to execute and complete the Project in strict accordance with the above referenced Project Scope and the other terms and conditions hereof. Subsequent to this Agreement, any change in the use or any substantial change in the design or arrangement of the Project must have the prior written approval of the State and the Heritage Conservation and Recreation Service of the U. S. Department of the Interior.
  - C. The Recipient shall not advertise any work on the Project for bidding, enter into any contract for work to be performed, or undertake any work on the Project unless and until the Recipient shall have submitted reasonably detailed plans and specifications for the Project to the State for approval and shall have received written approval of the State.
  - D. All contracts for work on the Project shall be awarded through competitive bidding and shall be subject to the prior approval of the State.
  - E. The Recipient shall establish a separate account for all funds received and expended in connection with the Project and shall preserve (and permit inspection of) such financial records until an audit is made by the United States Government, but in no case for less than three (3) years following final completion of the Project.
  - F. The eligibility for reimbursement by the State of any cost incurred or proposed to be incurred in connection with the Project shall be determined by the Director of the Bureau of Parks and Recreation in accordance with the criteria set forth in the Heritage Conservation and Recreation Service Grants-in-Aid Manual and any replacements or amendments thereto.
  - G. The Recipient agrees to repay any funds received for costs determined to be non-allowable by a post audit of the Project accounts.
3. The Recipient agrees that it shall, at its sole cost and expense, retain title to and management over all land acquired and improvements thereon developed in connection with the Project (such land and improvements hereinafter referred to as the "Facilities") and operate the Facilities in a first-class manner for the use of the general public for the lifetime of the Facilities. Without limitation of the foregoing, the Recipient shall, at its sole cost and expense, comply with the following particular requirements:
- A. The Recipient shall own and operate the Facilities and shall not sell, assign, transfer, lease, encumber or create or suffer any lien upon the Facilities or any part thereof. The Facilities shall at all times be used exclusively for public outdoor recreation in accordance with the terms of this Agreement, unless prior written approval of any change of use is obtained from the State and the Heritage Conservation and Recreation Service. The Facilities shall be kept open to the public at reasonable hours and times of the year consistent with the types of recreational opportunities offered therein, and shall be open to use and entry by all members of the public, regardless of race, color, creed, national origin, sex or place of residence, who are eligible according to reasonable rules and regulations for the use of the Facilities adopted by the Recipient in accordance with the Project Agreement.
  - B. The Facilities shall be operated and maintained to present an attractive and inviting appearance to the public to the satisfaction of the Director of the Bureau of Parks and Recreation. The Recipient shall provide and maintain adequate sanitation and sanitary facilities and all the Facilities shall be maintained and operated in accordance with the applicable Federal, State and Local laws, ordinances, codes, rules, regulations and standards. The Recipient shall keep the Facilities safe for public use in good, operable condition and repair.
4. Upon request of the State, the Recipient shall, at its own cost and expense, keep any buildings, improvements or equipment, as designated by the State, forming part of the Facilities, insured against loss or damage by fire, lightning, vandalism, malicious mischief, theft and such other risks as may be included in the broadest form of extended coverage available in an amount determined from time to time by the State to the full insurable value thereof.
5. Upon request of the State, the Recipient shall, at its own cost and expense, provide and keep in force comprehensive general public liability insurance against claims for personal injury, death or property damage occurring on, in or about the Facilities, or respecting the use of any vehicle or equipment used by the Recipient in connection with the Project or the Facilities, such insurance to be in form and amount determined from time to time by the State.
6. All insurance provided by the Recipient pursuant to this Agreement shall be carried by responsible companies satisfactory to the State. Certificates evidencing such policies shall be furnished to the State and shall require thirty (30) days prior written notice to the State of any cancellation or modification thereof.
7. The Recipient understands and agrees that by executing this Agreement and receiving the benefits hereof, it is irrevocably binding itself to operate, maintain, and care for the Facilities, all at its sole cost and expense, and in accordance with the provisions of

maintenance and repairs and/or otherwise perform the obligations of the Recipient for and on account of the Recipient, in which event any amounts so expended by the State shall become an account due and payable by the Recipient to the State and the Recipient shall promptly reimburse the State for all such amounts. If the Recipient fails to make such payment promptly upon request, the State may withhold all or any part of any other monies which may be payable to the Recipient under other State programs, by invoking the provisions of 5 M.R.S.A. §113 or otherwise.

8. The Recipient shall post in a prominent place on the Facilities, and shall maintain in good condition, a sign, approved by the State, giving public acknowledgment of assistance from the Land and Water Conservation Fund.
9. The Project and the Facilities, and all records pertaining thereto, shall at all reasonable times be open and available for inspection by the State, its agents and designees.
10. To the extent such funds are available, the State shall set aside from the Municipal Recreation Fund (established pursuant to 12 M.R.S.A. §602(14) for the Recipient \$125,500 (hereinafter referred to as the "State Project Funds"), to be used in connection with the Project. Upon submission to the State of evidence satisfactory to the State that the Recipient has or will incur ~~XXXXXXXXXXXX~~ construction costs in connection with the Project which are reimbursable hereunder, the State shall tender to the Recipient that portion of such costs which is required to pay the State's share thereof, which share shall be 40 percent, but in no event shall the aggregate amount payable by the State hereunder exceed the amount of the State Project Funds.
11. The Recipient shall indemnify, defend and save the State harmless from and against any and all claims, expenses, damages, injuries, liabilities and costs (including reasonable attorneys' fees and court costs) arising out of or in any way in connection with the construction, operation, use or maintenance of the Project and the Facilities, or any accident or occurrence therein or thereon.
12. The provisions of 5 M.R.S.A. §784 (2), regarding non-discrimination in employment, are hereby incorporated into this Agreement by reference as if the same were set out in full herein.
13. The following terms and conditions are made a part of this Agreement:

The conversion restrictions of Sec. 6.f. of the Land and Water Conservation Fund Act apply to that area shown on the attached Project Area Map dated 1/8/81. This map is attached to and made a part of this Agreement.

IN WITNESS WHEREOF, the parties hereto have, by their duly authorized agents, executed this Agreement as of the date entered below.

Date October 29, 1981

Pre-approved as to form by the Office of the Attorney General March, 1978.

Preapproved as to form by the Contract Review Committee March, 1978.

STATE OF MAINE  
BY: Herbert Hart  
Herbert Hartman, Director  
Bureau of Parks & Recreation

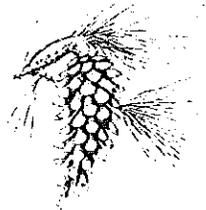
RECIPIENT  
Town ~~XXXXXX~~ of HAMPDEN  
By: R. Lewis Bone  
R. Lewis Bone  
Town Manager



JOSEPH E. BRENNAN  
GOVERNOR

STATE OF MAINE  
DEPARTMENT OF CONSERVATION

STATE HOUSE STATION 22  
AUGUSTA, MAINE 04333



RICHARD B. ANDERSON  
COMMISSIONER

February 19, 1987

James W. Coleman  
Regional Director  
Mid-Atlantic Region  
National Park Service  
143 S. Third Street  
Philadelphia, PA. 19106

RE: NPS Project #23-00481

Dear Mr. Coleman,

The Hampden Boat Facility Project has been completed and is in use by the community. The last Request for Reimbursement on the project (noted as 10P but in actuality 11P) on Request #020, Dated September 25, 1985, should be considered the Final Request.

There have been no changes in the DNF or Project Boundary Map as originally submitted. Enclosed is a copy of the Final Inspection Report. At this time, we would request that the project be closed out.

If you require further information, please let me know.

Sincerely yours,

Michael Gallagher  
Supv., Com. Parks & Rec.

MG/vlg  
Enc.

MAINE DEPARTMENT OF CONSERVATION

Bureau of Parks & Recreation

ON-SITE INSPECTION REPORT

-----  
PROJ. NO. 23-00481 PROJ. TITLE Hampden Boat Facility  
DATE 10-17-86 PROJ. PERIOD 9-29-81 TO 12-31-86  
ACQUISITION \_\_\_\_\_ DEVELOPMENT \_\_\_\_\_ PRE-AWARD \_\_\_\_\_ PROGRESS \_\_\_\_\_ FINAL x  
INSPECTED BY: Mike Gallagher  
-----

Local Contacts: Marie Baker, Town Manager

FINDINGS:

The Boat Facility is complete and has been in use for two years. It is heavily used and is meeting a need in the Bangor Region for access to the Penobscot.

Work on the facilities developed (ramp, parking area, floats, walkways) has been well done and according to scope.

The land area to the north of the parking area is being used as a source of materials (gravel, fill) for local projects. This will in the near future end and there are plans for private development.

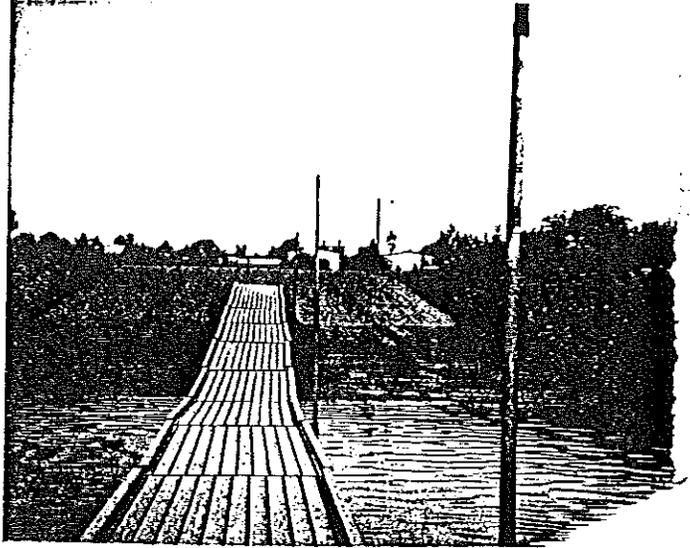
A project sign is at the entrance to the facility.

-----  
TO FUTURE INSPECTORS:

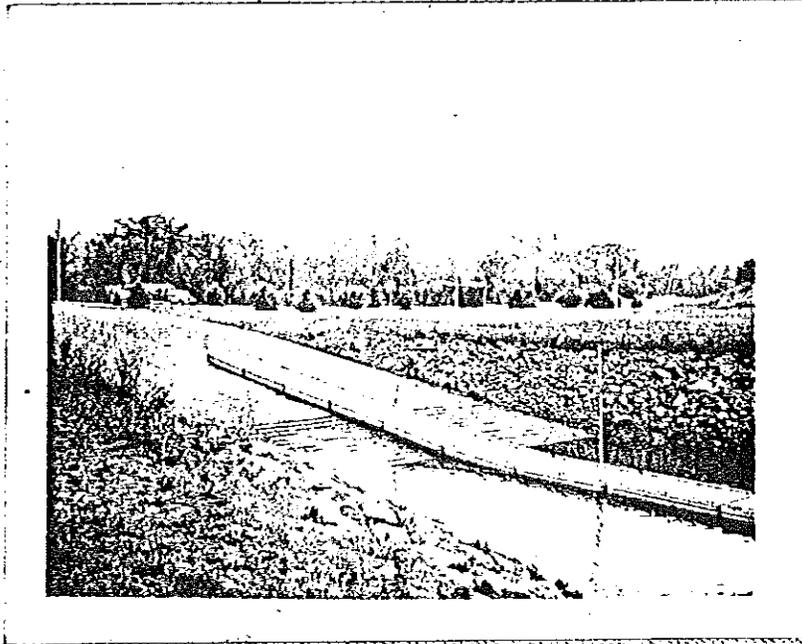
Sig. \_\_\_\_\_  
Michael Gallagher

- Supervisor Federal Aid  
 Ass't. Supervisor Federal Aid  
 Supv., Community Parks & Rec.

Photographs are / are not) attached.



NPS Project 23-00481 - Hampden Boat  
Facility



NPS Project 23-00481 - Hampden Boat  
Facility

**LAND AND WATER CONSERVATION FUND      Converted Property**  
**DESCRIPTION AND NOTIFICATION FORM**

(OMB No. 1024-0031, August 31, 2010)

State <b>23</b>	Grant # <b>00481</b>	Amend # <b>2</b>	Date Received	Date Approved	Expiration Date	Start Date
--------------------	-------------------------	---------------------	---------------	---------------	-----------------	------------

Grant Name: **Hampden Boat Facility**

Element Name:

Sponsor Name: **Town of Hampden**

Address: **106 Western Avenue Hampden, Maine 04444**

Type_R_	A = Acquisition D = New development R = Renovation development	P = Planning C = Combination M = Administration	SponsorL	L = Local C = County S = State
---------	--	---	----------	--------------------------------------

Acreage Acquired	Donated Acres	Acquisition Assistance	Number of Park Sites*
------------------	---------------	------------------------	-----------------------

Financial Data Estimates:		Source of Match:
Total Cost	Fund Amount	<input type="checkbox"/> Fed <input type="checkbox"/> State <input type="checkbox"/> Local
\$0	\$0	

PARK INFORMATION				
Park name #1: <b>Hampden Boat Facility</b>	County Name <b>Penobscot</b>	City Name <b>Hampden</b>	Cong Dist. <b>2</b>	Zip Code <b>04444-1436</b>
Prior LWCF Assistance? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	GPS Coordinates (Deg./Min./Sec./Dir.)	Latitude <b>44 45 58 60N</b>	Longitude <b>68 47 47 37 W</b>	
Fiscal Year <b>2013</b>	New 6(f) Acres at Park	And/ Or	Enhanced 6(f) Acres at Park <small>(Previously protected acres receiving development assistance by this action)</small>	Total Number of 6(f) Acres at Park <b>11.21+/-</b>

SPECIAL INDICES			
<input type="checkbox"/> A. Lease land - private	<input type="checkbox"/> G. Lands transferred to federal agency	<input type="checkbox"/> N. National Historic Landmarks	<input type="checkbox"/> U. Utility - R-O-W
<input type="checkbox"/> B. Leased land - federal	<input type="checkbox"/> I. Indian Sponsored	<input type="checkbox"/> O. National Heritage Areas	<input type="checkbox"/> V. American Heritage Rivers
<input type="checkbox"/> C. Costal Grant	<input type="checkbox"/> J. National Historic Register property	<input type="checkbox"/> Q. Railroad - R-O-W	<input type="checkbox"/> W. Wetlands
<input type="checkbox"/> D. Leased land - expired lease	<input type="checkbox"/> K. National Natural Landmarks	<input type="checkbox"/> R. National river	<input type="checkbox"/> X. Grant involved conversion
<input type="checkbox"/> E. Former federal surplus property	<input type="checkbox"/> L. Less than fee acquisition	<input type="checkbox"/> S. School Park	<input type="checkbox"/> Y. Endangered Species
<input type="checkbox"/> F. Flood Plan	<input type="checkbox"/> M. Mined land	<input type="checkbox"/> T. National trail	<input type="checkbox"/> Z. Contingency reserve

FACILITY CODES			
<input type="checkbox"/> A. 00. CAMPGROUNDS	<input type="checkbox"/> D. 00. GOLF COURSE	<input type="checkbox"/> H. 00. TRAILS	<input type="checkbox"/> N. 00. NATURAL AREA
<input type="checkbox"/> 01. Tent Sites	<input type="checkbox"/> 01. Regular 18 hole	<input type="checkbox"/> 01. Hiking	<input type="checkbox"/> P. 00. PASSIVE PARK
<input type="checkbox"/> 02. RV/ camp sites	<input type="checkbox"/> 02. Par 3	<input type="checkbox"/> 02. Horse	<input checked="" type="checkbox"/> Q. 00. SUPPORT FACILITY
<input type="checkbox"/> 03. Group camp ground	<input type="checkbox"/> 03. Driving Range	<input type="checkbox"/> 03. Bicycle	<input type="checkbox"/> 01. Walkways
<input type="checkbox"/> 04. Day Camp	<input type="checkbox"/> 04. Regular 9 hole	<input type="checkbox"/> 04. Motorized	<input type="checkbox"/> 02. Site Improvement/landscaping
<input type="checkbox"/> B. 00. PICNIC AREAS	<input type="checkbox"/> 05. Miniature golf	<input type="checkbox"/> 05. Natural	<input type="checkbox"/> 03. Utilities
<input type="checkbox"/> 01. Family site	<input type="checkbox"/> 06. Pitch and putt	<input type="checkbox"/> 06. Exercise	<input type="checkbox"/> 04. Equipment
<input type="checkbox"/> 02. Group shelter	<input type="checkbox"/> E. 00. SWIMMING FACILITY	<input type="checkbox"/> J. 00. WINTER SPORTS FACILITY	<input type="checkbox"/> 05. Roads
<input type="checkbox"/> C. 00. SPORTS & PLAYFIELDS	<input type="checkbox"/> 01. Pool	<input type="checkbox"/> 01. Ski lift	<input checked="" type="checkbox"/> 06. Parking
<input type="checkbox"/> 01. General purpose playfields	<input type="checkbox"/> 02. Wading Pool	<input type="checkbox"/> 02. Ski slope	<input type="checkbox"/> 07. Lighting
<input type="checkbox"/> 02. Baseball	<input type="checkbox"/> 03. Spray pool	<input type="checkbox"/> 03. Ski jump	<input type="checkbox"/> 08. Signs
<input type="checkbox"/> 03. Football	<input type="checkbox"/> 04. Swimming beach	<input type="checkbox"/> 04. Sled/toboggan run	<input checked="" type="checkbox"/> 09. Comfort station
<input type="checkbox"/> 04. Tot lot/playground	<input type="checkbox"/> 05. Bathhouse	<input type="checkbox"/> 05. Skating rink	<input type="checkbox"/> 10. Concession Building
<input type="checkbox"/> 05. Tennis Courts	<input checked="" type="checkbox"/> F. 00. BOATING FACILITIES	<input type="checkbox"/> 06. Ski trails	<input type="checkbox"/> 11. Maintenance building
<input type="checkbox"/> 06. Basketball	<input checked="" type="checkbox"/> 01. Launch ramp	<input type="checkbox"/> 07. Snowmobile trails	<input type="checkbox"/> R. 00. AMPHITHEATER/BAND SHELL
<input type="checkbox"/> 07. Rifle/pistol range	<input checked="" type="checkbox"/> 02. Berths	<input type="checkbox"/> 08. Warming huts	<input type="checkbox"/> S. 00. LAKE IMPOUNDMENT
<input type="checkbox"/> 08. Trap/skeet field	<input type="checkbox"/> 03. Boat lift	<input type="checkbox"/> K. 00. ENCLOSED SHELTER	<input type="checkbox"/> T. 00. VISITOR INFORMATION CENTER
<input type="checkbox"/> 09. Archery range	<input type="checkbox"/> G. 00. FISHING FACILITIES	<input type="checkbox"/> 01. Pool	<input type="checkbox"/> U. 00. INTERPRETIVE CENTER
<input type="checkbox"/> 10. Rodeo area	<input type="checkbox"/> 01.	<input type="checkbox"/> 02. Courts	<input type="checkbox"/> V. 00. OTHER
<input type="checkbox"/> 11. Track facility	<input type="checkbox"/> 02.	<input type="checkbox"/> 03. Picnic	
<input type="checkbox"/> 12. Skate board	<input type="checkbox"/> 03.	<input type="checkbox"/> L. 00. SHELTERED ICE RINK	
<input type="checkbox"/> 13. Soccer		<input type="checkbox"/> M. 00. HUNTING	
<input type="checkbox"/> 14. Other Courts			
<input type="checkbox"/> 15. Softball			

\* Attach continuation sheet(s) for grants with 2 or more sites (one per additional site)

Dan Higgins <dhiggins@hamlinsmarina.com> Fri, Mar 24, 2017 at 9:38 AM  
To: Angus Jennings <townmanager@hampdenmaine.gov>, Kimberly McLaughlin <kimberlylmcl@gmail.com>  
Cc: Peter Neal <harbormaster@hampdenmaine.gov>, Reid Garrity <rgarrity@hamlinsmarina.com>

Angus,

I am excited that the marina and park are on the agenda. With recent economic growth and renewed interest in recreational boating, I believe the time has come to revisit plans that have been in place for almost a decade.

Hamlin's Marina entered into a land lease with the Town of Hampden in April of 2006 as part of the purchase of Turtle Head Marina. Since that time our business, the marina, and the Town Park have grown exponentially.

Nearly \$1,000,000 has been invested in the public facility through a settlement with the DEP and Chevron Oil. Unfortunately, there is much more to do to ensure safe and enjoyable use of the facility and the waterfront.

The marina district encompasses nearly 14 acres of shared public and private lands. Hampden's waterfront employs nearly 50 people. Hampden's waterfront is home to a thriving restaurant, a booming boat dealership, and boat manufacturing.

With all of growth in the past ten years, I am excited to see the future of waterfront development in Hampden.

What I'd like to see:

1. Lighting in the park and ramp for safe operation in the evening hours. The launch and attached parking lot are very busy during the summer months with the waterfront concert series, the picnic areas, and the restaurant nearby.
2. Pursue acquiring the large snow dump parcel owned by the City of Bangor adjoining Turtle Head Park. The snow dump is causing severe land erosion. The runoff is pouring silt into the public launch. The erosion caused by the Bangor snow dumping may make the public launch unusable as the runoff continues to fill the launch area.
3. Secure the old cribwork in the park. It is deteriorating rapidly and additional erosion may occur. Currently, the cribworks could be the foundation for a fishing dock and/or sorely needed public/transient boat slips.
4. Replace town launch floats. These floats are deteriorated and will need to be replaced in the short term.

I've attached some background documents for review by committee.

I hope to attend the meeting and look forward to advancing the interests of Hampden's beautiful waterfront.

Thanks,

Dan Higgins  
Hamlin's Marina/ Puffin Boat Co

# Hampden Waterfront and Public Landing

Town of Hampden leases the marina property to Hamlin's Marina for 30 Years.

Hamlin's Marina grows rapidly adding ten new jobs and improving existing structures for the purpose of boat sales, service, and storage.



Community and Economic Development Director, Dean Bennett, & Hamlin's Marina begin working with State and Federal agencies to allow a Land Conversion which will allow the Town to proceed with a transfer of federally-subsidized public land, while replacing it with the Turtle Head Peninsula.

The Town of Hampden and Hamlin's Marina share in the costs of boundary surveys of the two parcels, Yellow-Book appraisals, and an Environmental study of the two shorefront parcels. The Turtle Head Peninsula is appraised at \$555,000.

Dr. Adrian del Nevo of Applied Ecological Solution pays a visit to Hamlin's Marina and the Town of Hampden on behalf of a client. The client is exploring the possibility of providing a grant to an area project.

Hamlin's Marina is approached by a first-class dining establishment who wishes to locate on the Hampden waterfront. The Town releases the alcohol restriction on Hamlin's land lease.

2006

Hamlin's Marina purchases Turtle Head Marina from Lee Crocket.



Lee Crocket leases the Turtle Head Peninsula to Hamlin's for 5 years with \$250,000 purchase option.

2007

2008

Hamlin's Marina submits a Hampden waterfront development proposal to the Town of Hampden providing for a shorefront park, additional docks, and expansion of the marina. The Town of Hampden begins working with Hamlin's Marina to explore the possibility of moving public facilities to the Turtle Head Peninsula and transferring ownership of Town-owned lands to Hamlin's Marina.



2009

2010

Hamlin's proceeds with plans to purchase a retail showroom and warehouse space from Sterns Lumber on Route 1A.

2011

Dean Bennett learns that the Waterfront Development Proposal has been selected for a grant of at least \$250,000.

# Hamlin's Marina

100 Marina Road • Hampden, Maine 04444  
(207) 941-8619 • Fax (207) 941-8628  
www.hamlinsmarina.com

November 5, 2010

To: Dean Bennett, Community and Economic Development Director

This is a very exciting moment for the citizens of Hampden and the business community. I've documented some of the milestones of our work together on the attached timeline. Our work has attracted the attention of a private entity, who would like to contribute a grant in the amount of at least \$250,000 to see our project materialize. Hamlin's Marina would like to contribute to the development of Hampden's waterfront on the Penobscot River by offering our exclusive rights to purchase the 8.49 acre riverfront parcel of undeveloped land known as the Turtle Head Peninsula. This offering is based on the cumulative research and work of the Town of Hampden and Hamlin's Marina. The subject land is appraised at \$555,000; the sale price of the land is set at \$250,000.

Hamlin's Marina offers this option to the Town of Hampden with the following conditions:

1. The land will be used to develop a park with walking trails, shelters/picnic facilities, boat docks for visitors, and open recreational areas for public enjoyment.
2. Once the federal land conversion process is complete (approximately six months after the Town purchases Turtle Head Peninsula), the Town of Hampden will sell Parcel A, B, C, and D of our existing 30-year land lease to Hamlin's Marina for the sum of \$1.
3. At time of sale, Hamlin's will lease back the ramp parking lot (Parcel C) to the Town of Hampden for 3 years @ \$1 a year, or until the Town constructs a new parking lot on the Turtle Head Peninsula...whichever comes first.

Hamlin's Marina is interested in acquiring ownership of the marina property, so that we may continue to grow our business and add jobs on the waterfront. Hamlin's Marina is also expanding to Route 1A to increase our presence in the community, and we are finalizing plans to partner with a fine-dining establishment to serve both our customers and the citizens of Hampden.

Thank you so much for your help in this project, and Hamlin's Marina looks forward to our role in making the Hampden Waterfront the pride of the community.

Sincerely,



Dan Higgins



VIEW DOWN WOODS ROAD TO POINT

04.22.2008

**NOTES:**

1. PARK CONCEPT PLAN BY BETSY MELROSE POULIN, RLA OF WATERVILLE, MAINE.
2. AERIAL CONTEXT PHOTO FROM MAINE GIS WEBSITE.
3. WETLAND DATA BY MOYSE ENVIRONMENTAL SERVICES OF BANGOR, MAINE.
4. SURVEY DATA INCLUDING SPRING HIGH TIDE AND FLOOD ZONES BY CES, INC OF BREWER, MAINE.
5. TOWN ZONING ORDINANCE DOES NOT ALLOW PARKING, ROADS OR STRUCTURES WITHIN 75 FOOT SETBACK.
6. POTENTIAL PARKING LOT ON PLAN MEETS NUMBER OF EXISTING PARKING SPACES FOR MUNICIPAL LANDING. POSSIBLE CONSTRUCTION WITH PERMEABLE PAVEMENT OR STANDARD BITUMINOUS PAVEMENT WITH PLANTED BIOBEDS FOR IMPROVED STORMWATER QUALITY.
7. POTENTIAL FOR INTERPRETIVE SIGNAGE NOTING ECOLOGICAL AND HISTORICAL ASPECTS OF PROPERTY.



VIEW OF FORMER DAM AND TURTLE HEAD COVE

04.22.2008



VIEW DOWN THE RIVER FROM POINT

04.22.2008



VIEW UP THE RIVER

04.22.2008



VIEW TO CRIBWORKS AND ACROSS THE RIVER

**PARK CONCEPT PLAN**  
**SCALE: 1"=100'**  
**JUNE 2011**



# TOWN OF HAMPDEN, MAINE

# RIVERFRONT PARK

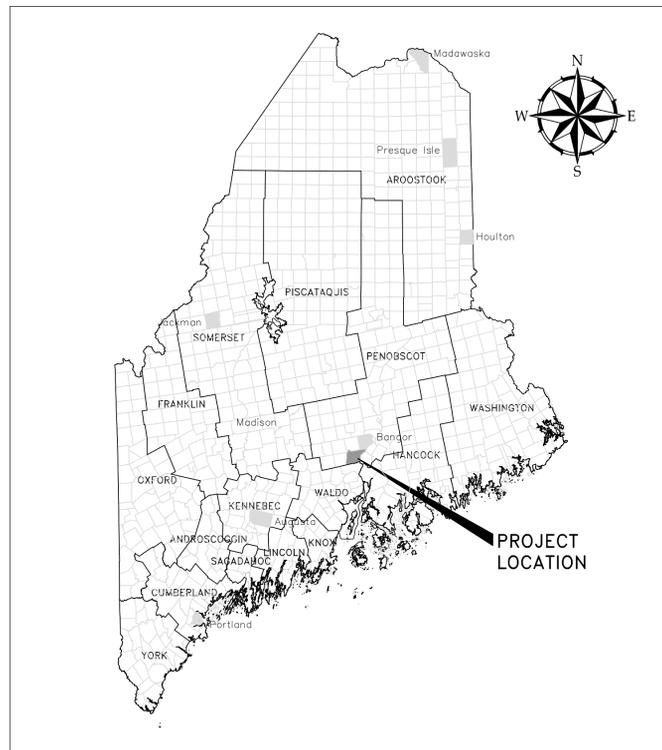
## PROJECT NO. 214594.00

### JUNE, 2013

### PRELIMINARY NOT FOR CONSTRUCTION

#### GENERAL CONSTRUCTION NOTES:

- THIS PROJECT INCLUDES ALL WORK AND MATERIALS TO PROVIDE PARKING, WALKING TRAILS AND STORM WATER MANAGEMENT. THE WORK INCLUDES CLEARING AND GRUBBING, DRAINAGE AREA IMPROVEMENTS, SUBBASE GRAVEL, BASE GRAVEL, BITUMINOUS PAVEMENT, AND PAVEMENT MARKINGS, LANDSCAPING AND ALL OTHER ITEMS REQUIRED TO COMPLETE THE WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIM/HERSELF WITH THE CONDITIONS RELATING TO THE CONSTRUCTION AND PERFORMANCE OF THE WORK AS SHOWN ON THE DRAWINGS. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR THE MATERIALS AND LABOR NECESSARY TO CARRY OUT THE PROVISIONS OF THE CONTRACT.
- IN SO FAR AS POSSIBLE, THE CONTRACTOR WILL PERFORM THE WORK OF THIS PROJECT IN A MANNER THAT DOES NOT INTERFERE WITH THE WORK OF OTHERS. COORDINATE WITH THE OWNER TO INSURE THAT THE WORK OF THIS PROJECT DOES NOT INCUR UNANTICIPATED INTERFERENCES.
- THE CONTRACTOR SHALL PERFORM THE WORK OF THIS PROJECT IN COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL RULES, GUIDELINES, AND LAWS. THE STANDARD AND SPECIAL CONDITIONS OF PERMITS ISSUED FOR THIS PROJECT SHALL BE MET BY THE CONTRACTOR. COPIES OF THE PERMITS AND THEIR STANDARD AND SPECIAL CONDITIONS CAN BE OBTAINED FROM THE OWNER UPON REQUEST. PERMITS ISSUED FOR THE PROJECT INCLUDE:
  - NATURAL RESOURCES PROTECTION ACT PERMIT BY RULE
  - MAINE DEP STORM WATER PERMIT
- SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. PERFORM ALL WORK IN ACCORDANCE WITH SAFETY STANDARDS OF APPLICABLE LAWS, BUILDING AND CONSTRUCTION CODES, THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" PUBLISHED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND THE REQUIREMENTS OF TITLE 9 OF THE CODE OF FEDERAL REGULATIONS, PART 1926, "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION".
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IN WRITING OF ANY CONDITION OR OCCURRENCE THAT REPRESENTS A CHANGE IN PROJECT SCOPE. VERBAL NOTIFICATION IS REQUIRED PRIOR TO PROCEEDING WITH THE WORK OF THE PROJECT AND WRITTEN NOTIFICATION MUST BE RECEIVED WITHIN 30 DAYS OF THE VERBAL NOTIFICATION. REQUESTS FOR FEE ADJUSTMENTS WILL NOT BE CONSIDERED UNLESS PROPER NOTICE IS GIVEN.
- THE CONTRACTOR SHALL SUPERVISE AND INSPECT THE WORK OF THIS PROJECT IN AN EFFICIENT AND COMPETENT MANNER. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCE AND PROCEDURES USED TO COMPLETE THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THE WORK IS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. A REPRESENTATIVE OF THE GENERAL CONTRACTOR SHALL BE PRESENT DURING ALL PHASES OF THE WORK.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT AND MATERIALS AS REQUIRED TO PERFORM THE WORK AS INDICATED ON THE DRAWINGS. MATERIALS AND EQUIPMENT SHALL BE IN GOOD CONDITION AND WITHOUT BLEMISH, DAMAGE, OR DEFECTS IN WORKMANSHIP. ITEMS FOUND TO BE DAMAGED OR OTHERWISE UNSUITABLE FOR THE WORK OF THIS PROJECT SHALL BE REMOVED BY THE CONTRACTOR AND REPLACED AT HIS/HER EXPENSE. THERE SHALL BE NO OWNER SUPPLIED MATERIALS IN THIS CONTRACT. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL RULES, GUIDELINES, AND LAWS.
- ALL WORK OF THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH EROSION AND SEDIMENTATION CONTROL STANDARDS AND DETAILS AS PRESENTED IN EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES, LATEST EDITION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT EQUIPMENT FLUIDS FROM REACHING ANY WATER COURSE. ANY INADVERTENT FLUID DISCHARGES SHALL BE IMMEDIATELY CLEANED FROM THE WATERS USING WHATEVER MEANS NECESSARY.
- COORDINATE CONSTRUCTION ACTIVITY WITH UTILITY COMPANIES, EMERGENCY SERVICES, AND TOWN OF HAMPDEN. NOTIFY UTILITY COMPANIES WITHIN 48 HOURS OF WORK ACTIVITY ADJACENT TO THOSE UTILITIES. COORDINATE ANY TREE PRUNING EFFORTS WITH THE POWER UTILITY TO ENSURE SAFE WORKING CONDITIONS AROUND LOW POWER LINES AND SERVICES. CONTRACTOR SHALL ALSO CONTACT "DIG SAFE", TELEPHONE NO. 1-888-344-7233 PRIOR TO COMMENCING EXCAVATION. REPAIR OF ANY DAMAGED UTILITY WILL BE INCIDENTAL TO THIS PROJECT.
- THE LOCATION, TYPE AND SIZE OF EXISTING PIPES, DUCTS, CONDUITS AND OTHER UNDERGROUND STRUCTURES SHOWN ON THE DRAWINGS ARE NOT WARRANTED TO BE EXACT NOR IS IT WARRANTED THAT ALL UNDERGROUND STRUCTURES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY ALL UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. EXCAVATING TEST PITS AS NECESSARY TO VERIFY UTILITY LOCATIONS AND DEPTHS SHALL BE INCIDENTAL TO THIS PROJECT.
- DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER FOR DECISION. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES, AND SPECIFICATIONS SHALL IMMEDIATELY BE REPORTED TO THE ENGINEER FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- ALL PLAN DIMENSIONS ARE IN FEET AND DECIMAL FRACTIONS THEREOF UNLESS OTHERWISE NOTED.
- SOIL DISTURBANCE IS TO BE KEPT TO A MINIMUM AND ALL DISTURBED AREAS SHALL BE STABILIZED (WITH PERMANENT OR TEMPORARY MEASURES) AS QUICKLY AS POSSIBLE.
- RESTORE ALL AREAS DISTURBED BY CONTRACTOR'S OPERATIONS TO ORIGINAL FINISH (GRAVEL, PAVEMENT, GRASS, ETC.) UNLESS OTHERWISE NOTED ON PLANS.
- EXISTING FACILITIES AND IMPROVEMENTS (I.E. GUARDRAILS, TREES, POLES, SIGNS, ETC.) SHALL BE REMOVED AND REPLACED OR PROTECTED AS REQUIRED DURING CONSTRUCTION. WHENEVER POSSIBLE, EXISTING PLANTINGS SHALL BE PRESERVED BY WHATEVER METHOD NECESSARY INCLUDING TRANSPLANTING AND/OR TEMPORARY RELOCATION UNLESS OTHERWISE INDICATED. THE ASSOCIATED COSTS ARE INCIDENTAL TO THE PROJECT.
- PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING WORK.
- ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE LOAMED AND SEEDED (4" DEPTH).
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF ALL PROPOSED WORK AS SHOWN ON DRAWINGS.
- CONSTRUCTION TESTING SHALL BE PROVIDED BY THE OWNER FOR ALL SOILS USED ON THIS PROJECT. FIELD DENSITY TESTING REQUIRED BY THE OWNER'S REPRESENTATIVE WILL BE PROVIDED BY AN INDEPENDENT LAB.
- THE LOCATIONS OF ALL PROPERTY LINES AND RIGHT-OF-WAYS ARE APPROXIMATE (SHOWN FOR REFERENCE ONLY), UNLESS NOTED OTHERWISE. PROPERTY LINES AND RIGHT-OF-WAYS SHOWN ARE NOT INTENDED TO REPRESENT LEGAL BOUNDARIES.
- PROPERLY PROTECT AND DO NOT DISTURB PROPERTY IRONS AND MONUMENTS. IF DISTURBED, THE PROPERTY MONUMENT WILL BE RESET AT THE CONTRACTOR'S EXPENSE, BY A REGISTERED LAND SURVEYOR APPROVED BY THE ENGINEER.
- ALL ITEMS SCHEDULED FOR REMOVAL THAT WILL NOT BE REUSED SHALL BE DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR.
- CRITICAL SILT FENCE, EROSION CONTROL MIX SEDIMENT BARRIER AND OTHER INSTALLATION LOCATIONS ARE SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN. ADDITIONAL LOCATIONS WHERE EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE MAY BE IDENTIFIED BY THE OWNER OR CONTRACTOR DURING THEIR REGULAR INSPECTIONS OF THE CONSTRUCTION SITE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL, MAINTAIN, AND REMOVE THE ADDITIONAL SEDIMENTATION CONTROL MEASURES AND THESE COSTS WILL BE INCIDENTAL TO THE PROJECT.
- AS-BUILT DRAWINGS ARE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE PROVIDED TO THE OWNER UPON COMPLETION OF THE PROJECT.



**PROJECT LOCATION MAP**

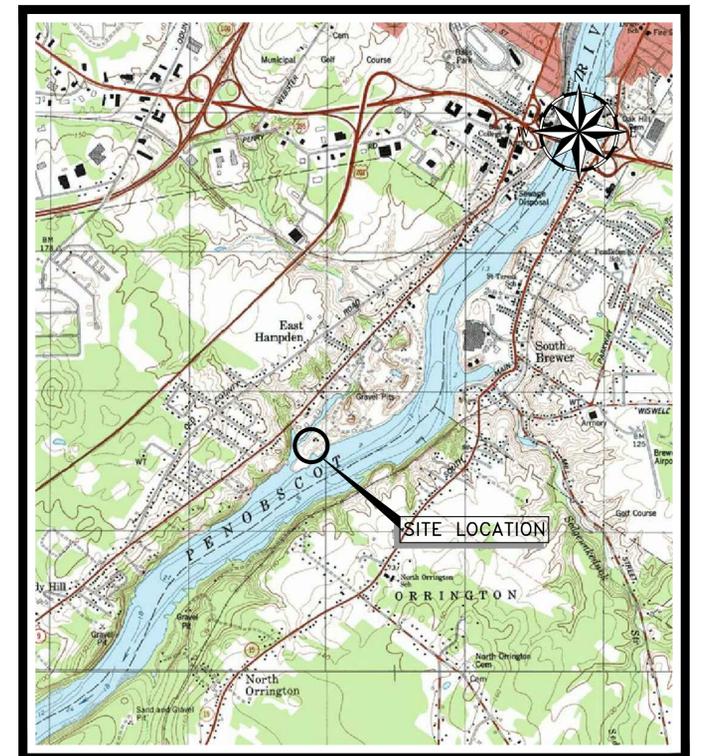


**Lucky Rock LLC**  
Site Planning - Landscape  
Architecture - Farmaculture  
Design  
373 Hussey Hill Road  
Yasaboro, Maine 04989  
207.818.6522  
www.luckyrockdesign.com

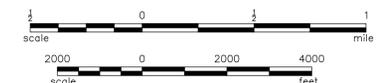


One Merchants Plaza | Suite 501  
Bangor, Maine 04401  
800.564.2333 | www.woodardcurran.com

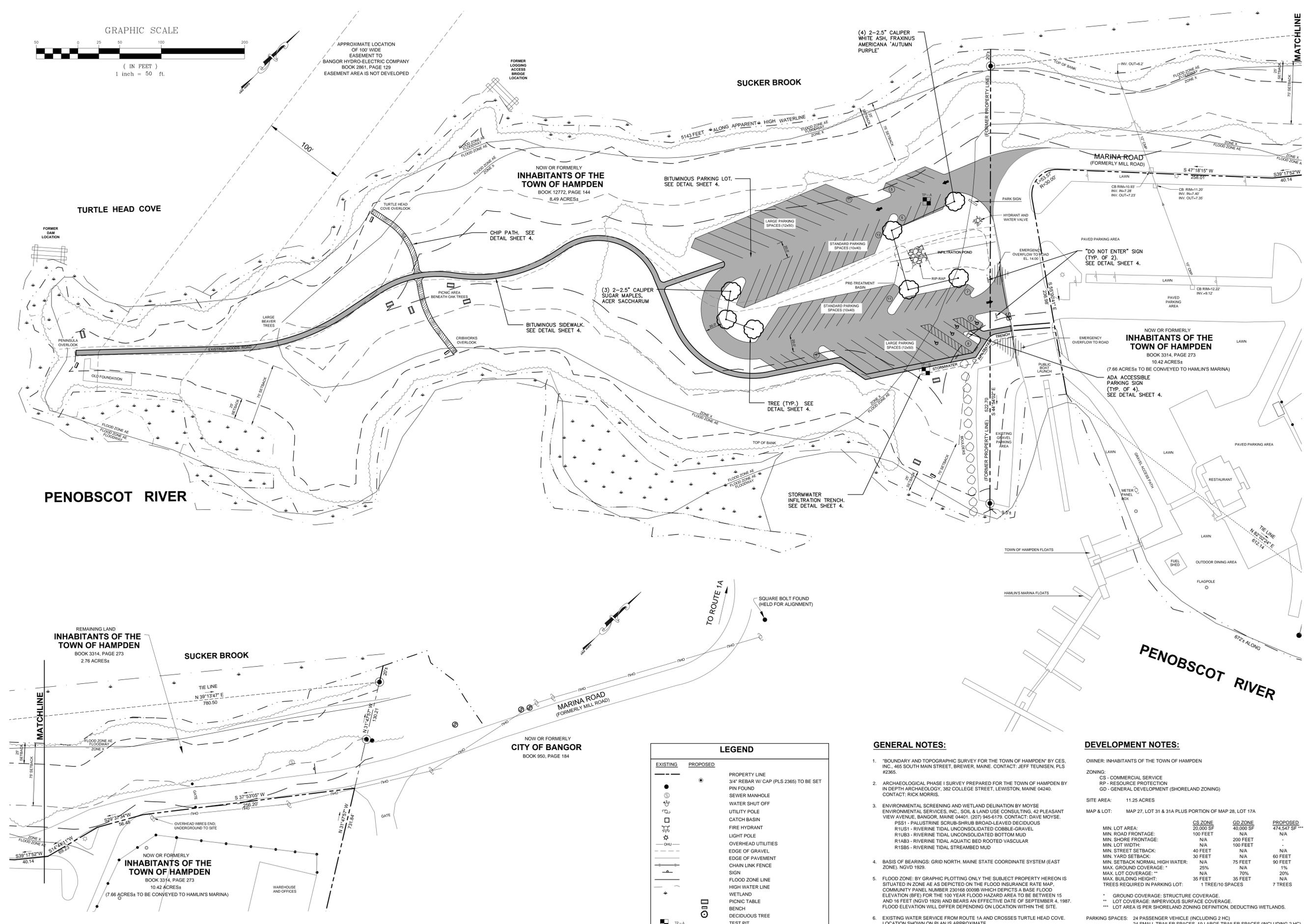
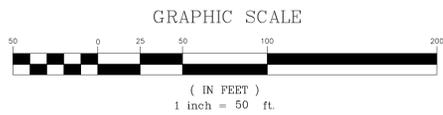
COMMITMENT & INTEGRITY DRIVE RESULTS



SOURCE: USGS TOPOGRAPHIC MAP  
**SITE LOCATION MAP**







**Lucky Rock LLC**  
Bangor, Maine 04401  
207.945.5492 | www.woodardcurran.com

**WOODARD & CURRAN**  
COMMITMENT & INTEGRITY DRIVE RESULTS



**PROJECT TITLE**  
Riverfront Park  
Hampden, Maine  
**SHEET TITLE**  
Site Plan

NO.	DATE	BY	DESCRIPTION

**OWNER / APPLICANT**  
TOWN OF HAMPDEN  
100 WESTERN AVENUE  
HAMPDEN, MAINE 04444  
**CONTACT: DEAN BENNETT**  
PHONE: 207.862.3034

**SCALE** 1"=50'  
**DATE** June, 2013  
**DRAWN BY** BAMP  
**DESIGNED BY** BAMP  
**DRAWING NUMBER** 2

**LEGEND**

EXISTING	PROPOSED	PROPERTY LINE
●	○	3/4" REBAR W/ CAP (PLS 2365) TO BE SET
⊙	⊙	PIN FOUND
⊕	⊕	SEWER MANHOLE
⊖	⊖	WATER SHUT OFF
⊗	⊗	UTILITY POLE
⊘	⊘	CATCH BASIN
⊙	⊙	FIRE HYDRANT
⊙	⊙	LIGHT POLE
⊙	⊙	OVERHEAD UTILITIES
⊙	⊙	EDGE OF GRAVEL
⊙	⊙	EDGE OF PAVEMENT
⊙	⊙	CHAIN LINK FENCE
⊙	⊙	SIGN
⊙	⊙	FLOOD ZONE LINE
⊙	⊙	HIGH WATER LINE
⊙	⊙	WETLAND
⊙	⊙	PICNIC TABLE
⊙	⊙	BENCH
⊙	⊙	DECIDUOUS TREE
⊙	⊙	TEST PIT

**GENERAL NOTES:**

- "BOUNDARY AND TOPOGRAPHIC SURVEY FOR THE TOWN OF HAMPDEN" BY CES, INC., 465 SOUTH MAIN STREET, BREWER, MAINE. CONTACT: JEFF TEUNISSEN, PLS #2365.
- ARCHAEOLOGICAL PHASE I SURVEY PREPARED FOR THE TOWN OF HAMPDEN BY IN DEPTH ARCHAEOLOGY, 382 COLLEGE STREET, LEWISTON, MAINE 04240. CONTACT: RICK MORRIS.
- ENVIRONMENTAL SCREENING AND WETLAND DELINEATION BY MOYSE ENVIRONMENTAL SERVICES, INC., SOIL & LAND USE CONSULTING, 42 PLEASANT VIEW AVENUE, BANGOR, MAINE 04401. (207) 945-6179. CONTACT: DAVE MOYSE.
  - PSS1 - PALLUSTRIANE SCRUB-SHRUB BROAD-LEAVED DECIDUOUS
  - R1UB1 - RIVERINE TIDAL UNCONSOLIDATED COBBLE-GRAVEL
  - R1UB3 - RIVERINE TIDAL UNCONSOLIDATED BOTTOM MUD
  - R1AB3 - RIVERINE TIDAL AQUATIC BED ROOTED VASCULAR
  - R1BS5 - RIVERINE TIDAL STREAMBED MUD
- BASIS OF BEARINGS: GRID NORTH, MAINE STATE COORDINATE SYSTEM (EAST ZONE), NVD 1929.
- FLOOD ZONE: BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY HEREON IS SITUATED IN ZONE AE AS DEPICTED ON THE FLOOD INSURANCE RATE MAP. COMMUNITY PANEL NUMBER 230168 0009B WHICH DEPICTS A BASE FLOOD ELEVATION (BFE) FOR THE 100 YEAR FLOOD HAZARD AREA TO BE BETWEEN 15 AND 16 FEET (NVD 1929) AND BEARS AN EFFECTIVE DATE OF SEPTEMBER 4, 1987. FLOOD ELEVATION WILL DIFFER DEPENDING ON LOCATION WITHIN THE SITE.
- EXISTING WATER SERVICE FROM ROUTE 1A AND CROSSES TURTLE HEAD COVE. LOCATION SHOWN ON PLAN IS APPROXIMATE.

**DEVELOPMENT NOTES:**

OWNER: INHABITANTS OF THE TOWN OF HAMPDEN

ZONING: CS - COMMERCIAL SERVICE  
RP - RESOURCE PROTECTION  
GD - GENERAL DEVELOPMENT (SHORELAND ZONING)

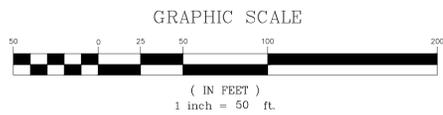
SITE AREA: 11.25 ACRES

MAP & LOT: MAP 27, LOT 31 & 31A (PLUS PORTION OF MAP 28, LOT 17A)

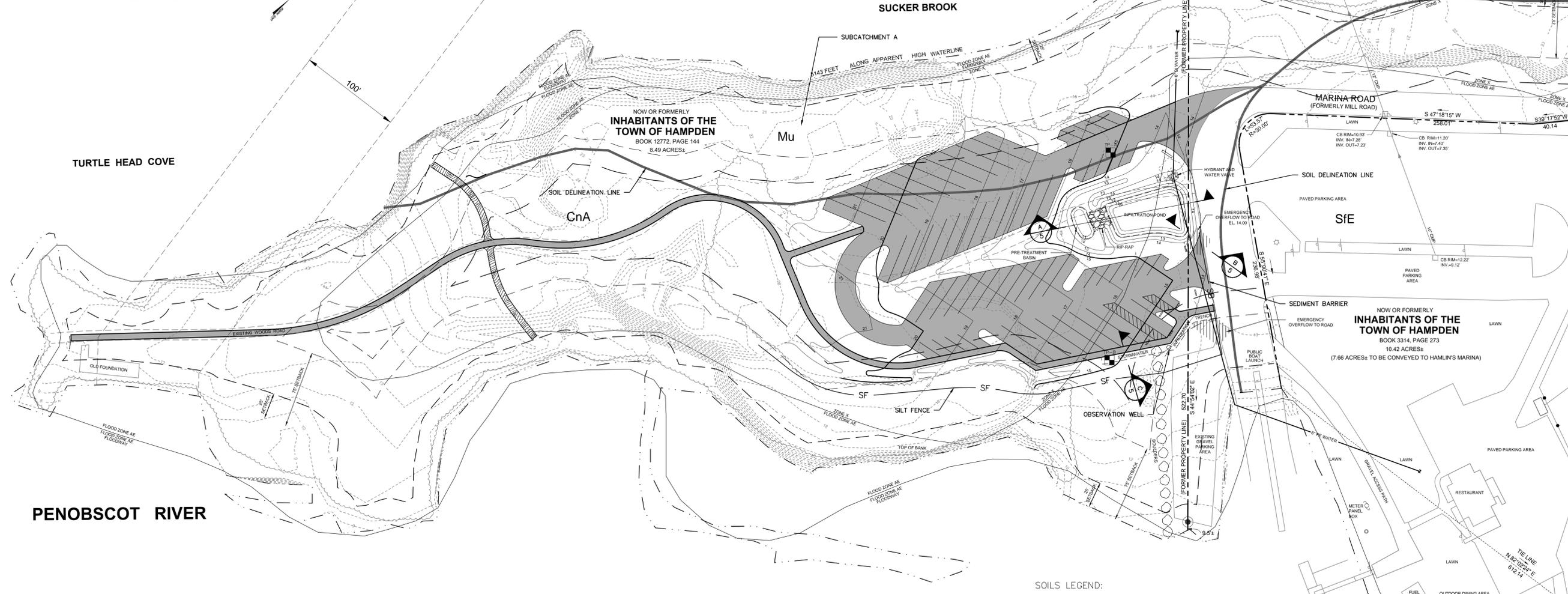
	CS ZONE	GD ZONE	PROPOSED
MIN. LOT AREA:	20,000 SF	40,000 SF	474,547 SF**
MIN. ROAD FRONTAGE:	100 FEET	N/A	N/A
MIN. SHORE FRONTAGE:	N/A	200 FEET	-
MIN. LOT WIDTH:	N/A	100 FEET	-
MIN. STREET SETBACK:	40 FEET	N/A	N/A
MIN. YARD SETBACK:	30 FEET	N/A	60 FEET
MIN. SETBACK NORMAL HIGH WATER:	N/A	75 FEET	90 FEET
MAX. GROUND COVERAGE:	25%	N/A	1%
MAX. LOT COVERAGE:	N/A	70%	20%
MAX. BUILDING HEIGHT:	35 FEET	35 FEET	N/A
TREES REQUIRED IN PARKING LOT:	1 TREE/10 SPACES	-	7 TREES

\*\* GROUND COVERAGE: STRUCTURE COVERAGE  
\*\*\* LOT COVERAGE: IMPERVIOUS SURFACE COVERAGE  
\*\*\*\* LOT AREA IS PER SHORELAND ZONING DEFINITION, DEDUCTING WETLANDS.

PARKING SPACES: 24 PASSENGER VEHICLE (INCLUDING 2 HC)  
24 SMALL TRAILER SPACES, 19 LARGE TRAILER SPACES (INCLUDING 2 HC).

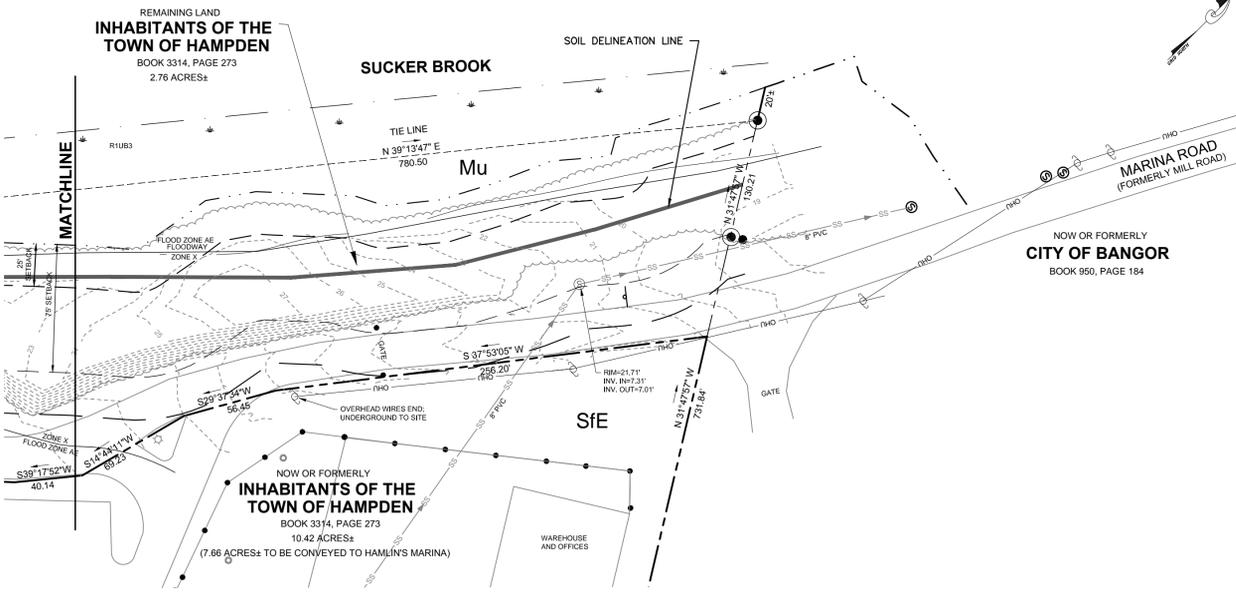


APPROXIMATE LOCATION OF 100' WIDE EASEMENT TO BANGOR HYDRO-ELECTRIC COMPANY BOOK 2861, PAGE 129 EASEMENT AREA IS NOT DEVELOPED



PENOBSCOT RIVER

**SOILS LEGEND:**  
 CnA - COLTON GRAVELLY SANDY LOAM, DARK MATERIALS, 0 TO 2 PERCENT SLOPES  
 SIE - STETSON-SUFFIELD COMPLEX, 15 TO 45 % SLOPES  
 Mu - MUCK



LEGEND		
EXISTING	PROPOSED	
—	—	PROPERTY LINE
●	●	3/4" REBAR W/ CAP (PLS 2365) TO BE SET
○	○	PIN FOUND
⊙	⊙	SEWER MANHOLE
⊕	⊕	WATER SHUT OFF
⊖	⊖	UTILITY POLE
⊗	⊗	CATCH BASIN
⊘	⊘	FIRE HYDRANT
⊙	⊙	LIGHT POLE
⊚	⊚	OVERHEAD UTILITIES
—	—	SANITARY SEWER
—	—	WATER MAIN
—	—	EDGE OF GRAVEL
—	—	EDGE OF PAVEMENT
—	—	CHAIN LINK FENCE
—	—	SIGN
—	—	FLOOD ZONE LINE
—	—	HIGH WATER LINE
—	—	WETLAND
—	—	TOPOGRAPHIC CONTOUR
+	+	SPOT ELEVATION
⊙	⊙	TEST PIT

- GENERAL NOTES:**
- "BOUNDARY AND TOPOGRAPHIC SURVEY FOR THE TOWN OF HAMPDEN" BY CES, INC., 465 SOUTH MAIN STREET, BREWER, MAINE. CONTACT: JEFF TEUNISSEN, PLS #2365.
  - ARCHAEOLOGICAL PHASE I SURVEY PREPARED FOR THE TOWN OF HAMPDEN BY IN DEPTH ARCHAEOLOGY, 382 COLLEGE STREET, LEWISTON, MAINE 04240. CONTACT: RICK MORRIS.
  - ENVIRONMENTAL SCREENING AND WETLAND DELINEATION BY MOYSE ENVIRONMENTAL SERVICES, INC., SOIL & LAND USE CONSULTING, 42 PLEASANT VIEW AVENUE, BANGOR, MAINE 04401. (207) 945-6179. CONTACT: DAVE MOYSE.  
 P5S1 - PALLASTRINE SCRUB-SHRUB BROAD-LEAVED DECIDUOUS  
 R1UB1 - RIVERINE TIDAL UNCONSOLIDATED COBBLE-GRAVEL  
 R1UB3 - RIVERINE TIDAL UNCONSOLIDATED BOTTOM MUD  
 R1AB3 - RIVERINE TIDAL AQUATIC BED ROOTED VASCULAR  
 R1BS5 - RIVERINE TIDAL STREAMBED MUD
  - BASIS OF BEARINGS: GRID NORTH, MAINE STATE COORDINATE SYSTEM (EAST ZONE), NGVD 1929.
  - FLOOD ZONE: BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY HEREON IS SITUATED IN ZONE AE AS DEPICTED ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 230168 0009B WHICH DEPICTS A BASE FLOOD ELEVATION (BFE) FOR THE 100 YEAR FLOOD HAZARD AREA TO BE BETWEEN 15 AND 16 FEET (NGVD 1929) AND BEARS AN EFFECTIVE DATE OF SEPTEMBER 4, 1987. FLOOD ELEVATION WILL DIFFER DEPENDING ON LOCATION WITHIN THE SITE.
  - EXISTING WATER SERVICE FROM ROUTE 1A AND CROSSES TURTLE HEAD COVE. LOCATION SHOWN ON PLAN IS APPROXIMATE.

**Lucky Rock LLC**  
 Bangor, Maine 04401  
 207.945.5492 | www.woodardcurran.com

One Merchants Plaza  
 Bangor, Maine 04401  
 207.945.5492 | www.woodardcurran.com



**PROJECT TITLE**  
 Riverfront Park  
 Hampden, Maine  
 Grading and Drainage Plan

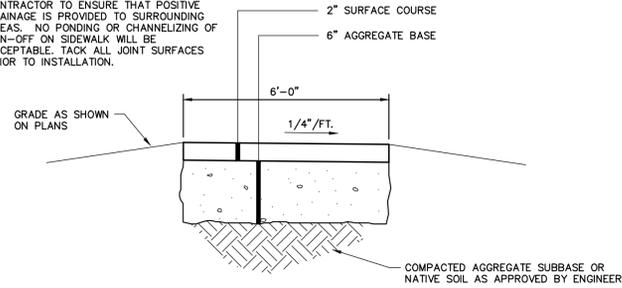
NO.	DATE	BY	DESCRIPTION

**OWNER / APPLICANT**  
 TOWN OF HAMPDEN  
 100 WESTERN AVENUE  
 HAMPDEN, MAINE 04444  
 CONTACT: DEAN BENNETT  
 PHONE: 207.862.3034

<b>SCALE</b>	1"=50'
<b>DATE</b>	June, 2013
<b>DRAWN BY</b>	BAMP
<b>DESIGNED BY</b>	BAMP
<b>DRAWING NUMBER</b>	3

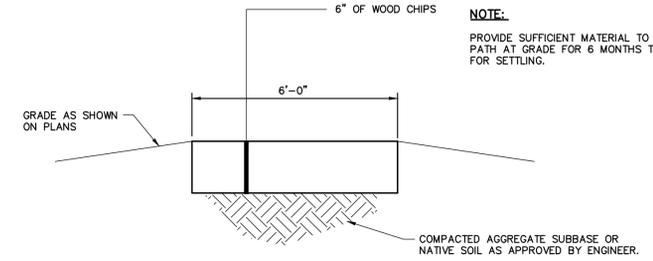
**NOTE:**

CONTRACTOR TO ENSURE THAT POSITIVE DRAINAGE IS PROVIDED TO SURROUNDING AREAS. NO PONDING OR CHANNELIZING OF RUN-OFF ON SIDEWALK WILL BE ACCEPTABLE. TACK ALL JOINT SURFACES PRIOR TO INSTALLATION.



**TYPICAL BITUMINOUS SIDEWALK DETAIL**

N.T.S.



**TYPICAL CHIP PATH DETAIL**

N.T.S.

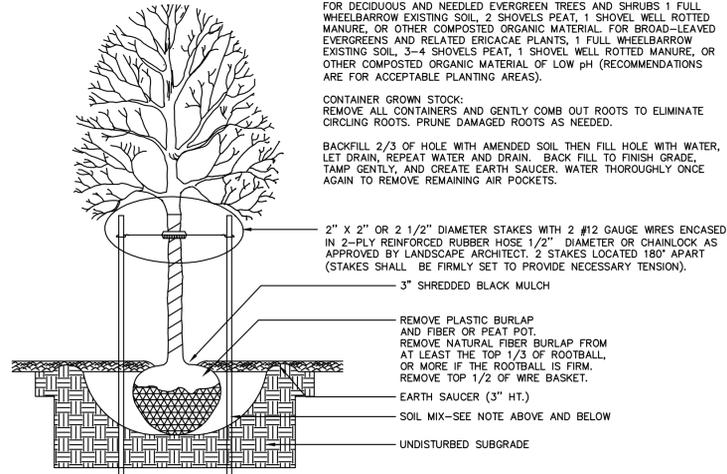
**GENERAL PLANTING NOTES:**

DIG HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL (NO DEEPER). SET ROOT BALL CENTERED, WITH ROOT FLARE AT GROUND LEVEL. CORRECT HOLE DEPTH AS NEEDED. NOTE: MANY BALLED & BURLAPPED PLANTS HAVE SOIL PILED AROUND THE ROOT FLARE WHICH SHOULD BE REMOVED PRIOR TO PLANTING.

FOR DECIDUOUS AND NEEDED EVERGREEN TREES AND SHRUBS 1 FULL WHEELBARROW EXISTING SOIL, 2 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL. FOR BROAD-LEAVED EVERGREENS AND RELATED ERICACEAE PLANTS, 1 FULL WHEELBARROW EXISTING SOIL, 3-4 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL OF LOW pH (RECOMMENDATIONS ARE FOR ACCEPTABLE PLANTING AREAS).

CONTAINER GROWN STOCK: REMOVE ALL CONTAINERS AND GENTLY COMB OUT ROOTS TO ELIMINATE CIRCLING ROOTS. PRUNE DAMAGED ROOTS AS NEEDED.

BACKFILL 2/3 OF HOLE WITH AMENDED SOIL THEN FILL HOLE WITH WATER, LET DRAIN, REPEAT WATER AND DRAIN. BACK FILL TO FINISH GRADE, TAMP GENTLY, AND CREATE EARTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.

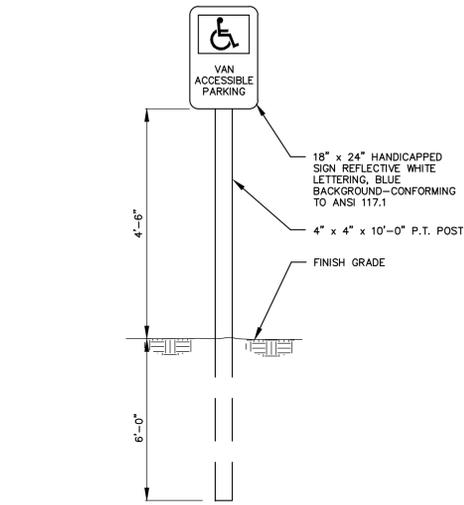


**TREE PLANTING DETAIL**

NOT TO SCALE

**GENERAL PLANTING NOTES**

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE GENERAL CONTRACTOR. ANY DISCREPANCIES BETWEEN DRAWINGS, PLANT QUANTITIES, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE GENERAL CONTRACTOR FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS, 30 INCHES IN ALL TREE PITS, AND 6 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSEYMEN".
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND GENERAL CONTRACTOR (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- DAMAGE TO EXISTING SITE IMPROVEMENTS DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL COORDINATE INSPECTION OF PLANT MATERIAL AND LOCATIONS WITH PROJECT GENERAL CONTRACTOR PRIOR TO INSTALLATION. ALL PLANT MATERIAL SHALL BE ON-SITE AND PLACED BEFORE INSPECTION CAN BE COMPLETED. A MINIMUM OF 48 HOUR NOTIFICATION SHALL BE REQUIRED.
- MAINTENANCE REQUIREMENTS: PRUNE DEAD OR DAMAGED BRANCHES, MAINTAIN GUY POSTS AND WATER AS REQUIRED UNTIL PROJECT COMPLETION AND ACCEPTANCE BY OWNER.
- WATERING: ALL PLANTINGS SHALL BE THOROUGHLY WATERED UPON INSTALLATION, AND THEN WEEKLY WHENEVER ANY DRY SPELLS OCCUR, UNTIL ACCEPTANCE BY OWNER.
- LANDSCAPE CONTRACTOR OR PLANT SUPPLIER SHALL GUARANTEE PLANTS AND PROVIDE REPLACEMENTS FOR ONE YEAR FROM PROJECT COMPLETION AND OWNER ACCEPTANCE.



**ADA ACCESSIBLE PARKING SIGN DETAIL**

N.T.S.

**NOTE:**

ALL SIGN MATERIAL AND INSTALLATION SHALL COMPLY WITH MDT STANDARD SPECIFICATION SECTION 645 AND THE LATEST EDITION OF MUTCD

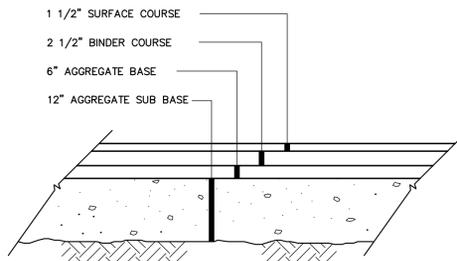


RS-1

**DO NOT ENTER**

**TRAFFIC SIGN DETAIL**

N.T.S.



**NOTES:**

- TEMPORARY PAVEMENT IS 2" BINDER COURSE, AND MAY BE REQUIRED AT THE WATER DISTRICT'S DISCRETION.
- CUT EXISTING PAVEMENT TO STRAIGHT EVEN EDGE, AND APPLY TACK COAT ON ALL EDGES BY SPRAY APPLICATION BEFORE PAVING.
- PROVIDE COMPACTED AGGREGATE BASE AS NECESSARY FOR GRADING AS APPROVED BY THE ENGINEER AND OWNER.
- PAVEMENT SHALL BE REPLACED IN MINIMUM THICKNESS SHOWN ABOVE, OR MATCH EXISTING PAVEMENT THICKNESS, WHICHEVER IS GREATER.

**TYPICAL BITUMINOUS PARKING LOT DETAIL**

N.T.S.

**Lucky Rock LLC**  
Site Planning - Landscaping - Hardscape - Irrigation - Arboriculture  
879 Boston Mill Road  
Yarmouth, Maine 04096  
207.661.0822  
www.luckyrockdesign.com

One Merchants Plaza  
Bangor, Maine 04401  
207.945.5492 | www.woodandcurran.com



COMMITMENT & INTEGRITY DRIVE RESULTS

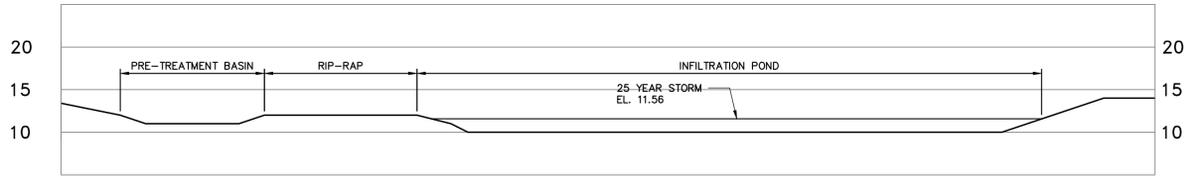
PROJECT TITLE  
**Riverfront Park  
Hampden, Maine**

SHEET TITLE  
**Details 1**

NO.	REV.	DATE	DESCRIPTION	DATE	DESCRIPTION

**OWNER / APPLICANT**  
TOWN OF HAMPDEN  
100 WESTERN AVENUE  
HAMPDEN, MAINE 04444  
CONTACT: DEAN BENNETT  
PHONE: 207.862.3034

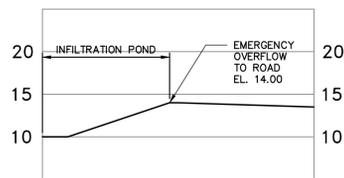
SCALE	As Noted
DATE	June, 2013
DRAWN BY	JDE
DESIGNED BY	CES
DRAWING NUMBER	4



**INFILTRATION POND  
SECTION A**  
SCALE: 1"=10'

**STORM WATER NOTES:**

1. NO KNOWN WELLS ARE WITHIN 300' OF INFILTRATION STRUCTURES.
2. DEPTH TO BEDROCK > 200cm
3. DEPTH TO WATER TABLE > 200cm



**EMERGENCY OVERFLOW  
SECTION B**  
SCALE: 1"=10'

**EROSION AND SEDIMENT CONTROL NOTES**

EROSION AND SEDIMENT CONTROL DURING THE CONSTRUCTION OF THIS PROJECT WILL BE CARRIED OUT UTILIZING THE FOLLOWING MEASURES AND IN ACCORDANCE WITH THE ENVIRONMENTAL QUALITY HANDBOOK\*.

1. CONSTRUCTION OPERATIONS WILL BE SCHEDULED IN SUCH A MANNER THAT THE LEAST PRACTICAL AMOUNT OF SOIL IS DISTURBED THAT CANNOT HAVE PERMANENT EROSION CONTROL MEASURES APPLIED IMMEDIATELY.
2. ALL DISTURBED SURFACES WHICH ARE NOT BEING PAVED WILL BE LOAMED AND SEED IMMEDIATELY AFTER FINAL GRADING IS ACHIEVED.
3. ALL DISTURBED SURFACES NOT BEING FINAL GRADED WILL BE TREATED WITH TEMPORARY EROSION CONTROL MEASURES:  
MULCH WITH HAY OR STRAW AT 46 LBS. PER 1000 SQ. FT. (2 TONS PER ACRE) OR PROVIDE EROSION CONTROL MESH.
4. HAY BALES AND/OR SILT FENCE WILL BE UTILIZED TO PREVENT EROSION OF ANY STOCKPILES OF EXCAVATED MATERIALS.
5. ANY DEWATERING OF THE SITE, PARTICULARLY WHEN ADJACENT TO SHAW BROOK, WILL BE DONE IN SUCH A MANNER TO AVOID A VISIBLE SEDIMENT DISCHARGE TO THE BROOK. ALL DISCHARGE HOSES WILL BE DIRECTED TO A SEDIMENT CONTROL STRUCTURE OR A NATURAL FEATURE WHICH WILL PREVENT NOTICEABLE SEDIMENTATION DISCHARGE.
6. THE CONTRACTOR WILL INSPECT ALL EROSION CONTROL MEASURES AFTER EVERY RAINFALL OR A MINIMUM OF ONCE A WEEK AND DIRECT ANY NECESSARY MAINTENANCE OF THESE MEASURES. MAINTENANCE PROCEDURES FOR EROSION CONTROL MEASURES INCLUDE:  
A. REPAIRING ANY BARRIERS WHICH HAVE BECOME INEFFECTIVE OR DISLOADED.  
B. REPLACING ANY BARRIER WHICH HAS DETERIORATED OR BECOME TOTALLY INEFFECTIVE.  
C. REMOVING SEDIMENT DEPOSITS FROM THE BARRIERS WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

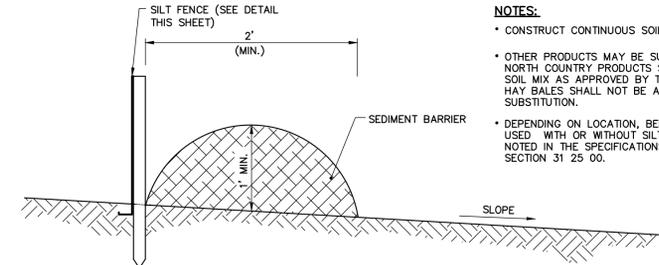
\*LATEST EDITION OF "ENVIRONMENTAL QUALITY HANDBOOK" EROSION AND SEDIMENT CONTROL FOR DEVELOPING AREAS OF MAINE SOIL AND WATER CONSERVATION COMMISSION

**TEMPORARY EROSION CONTROL:**

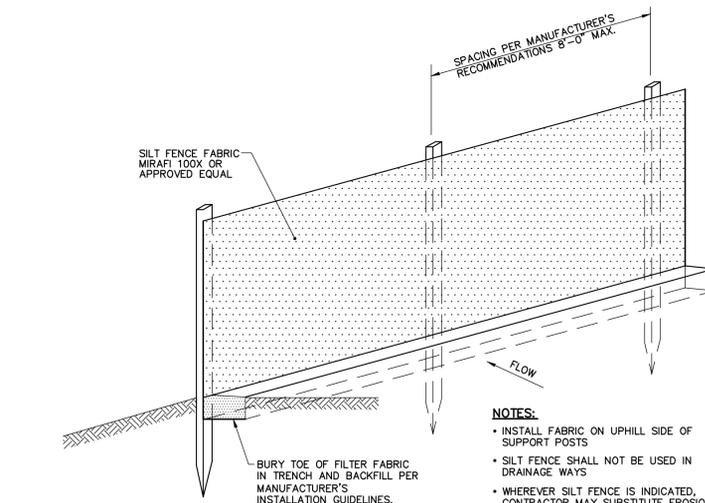
MEASURE	DATES FOR USE	TIMING, ACTIVITY, AND LOCATION
SILT FENCE	All	Before site clearing and soil disturbance, install downhill of disturbed areas.
SILT FENCE W/ FILTER BERM	All	Before site clearing and soil disturbance, nearby protected natural resources, install downhill of disturbed areas.
STONE CHECK DAMS	All	Immediately following construction of drainage channel install in drainage channel.
HAY BALES	All	Short term protection of catch basin inlets, and to add support to silt fences or check dams.
DUST CONTROL	All	During dry weather, apply water and calcium chloride to control dust.
TEMPORARY SEEDING	April 1 to Oct. 1	Soil stockpiles and disturbed land soils which will not be disturbed again within 21 days. If grass growth provides less than 95% soil coverage by Nov. 1, apply mulch and anchor with netting.
MULCH	April 15 to Sept. 15	On all areas of exposed soil which will not be disturbed again within 21 days, apply 70 to 90 lbs. mulch (2 bales) per 1,000 sq. ft. within the 21 day period.
WINTER MULCH	Sept. 16 to Oct. 31 Nov. 1 to April 14	On all areas of exposed soil which will not be disturbed again within 7 days, apply 150 to 170 lbs. mulch (4 bales) per 1,000 sq. ft. within the 7 day period. Erosion control blanket may be used as a substitute for winter mulch. On all areas of exposed soil, apply 150 to 170 lbs. mulch (4 bales) per 1,000 sq. ft. and anchor with netting, at the end of each working day. Erosion control blanket may be used as a substitute for winter mulch.
EROSION CONTROL BLANKET	All	Install immediately following seeding, within drainage channels and on all exposed soil slopes which are 25% or steeper grade, and locations shown on plan. EOB may also be substituted for winter mulch.
INSPECTIONS	Until site is permanently stabilized	Inspect the erosion and sedimentation control measures at least once a week and after significant storm events.

**PERMANENT EROSION CONTROL:**

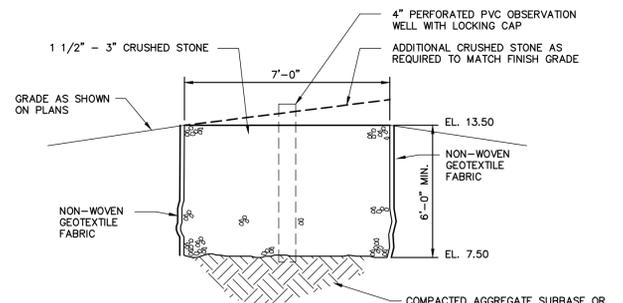
MEASURE	DATES FOR USE	TIMING, ACTIVITY, AND LOCATION
RIPRAP PROTECTION	All	Install riprap immediately following culvert installation or final channel grading at locations shown on plans.
PAVEMENT - BASE COURSE - FINAL COURSE	When no frost is in ground	Install only in areas shown on the plan, shortly after pavement base is brought to final grade. Install near completion of project.
PERMANENT SEEDING	April 15 to Sept. 15	On final grade areas, within 7 days of grade preparation, prepare topsoil, followed with seeding and mulch application.
DORMANT SEEDING	Sept. 16 to April 15	On final grade areas, with prepared topsoil. Apply seed at double the specified rate, on bare soil, and follow with an application of winter mulch.
GROUND COVER, TREES, SHRUBS	April 15 to Nov. 1	Install with final landscaping.
PERMANENT MULCH	All	Install with final landscaping.



**SILTATION FENCE WITH SEDIMENT BARRIER**  
N.T.S.



**SILTATION FENCE**  
N.T.S.



**STORMWATER FILTRATION TRENCH DETAIL  
SECTION C**  
N.T.S.

**Lucky Rock LLC**  
Site Planning - Landscaping  
Architectural - Construction  
779 Riverfront Park Blvd  
Bangor, Maine 04401  
207.862.3034  
www.luckyrockdesign.com

One Merchants Plaza  
Bangor, Maine 04401  
207.945.5492 | www.woodandcurran.com



COMMITMENT & INTEGRITY DRIVE RESULTS

PROJECT TITLE  
**Riverfront Park  
Hampden, Maine**  
SHEET TITLE  
**Details 2**

NO.	DATE	BY	DESCRIPTION

**OWNER / APPLICANT**  
TOWN OF HAMPDEN  
100 WESTERN AVENUE  
HAMPDEN, MAINE 04444  
**CONTACT: DEAN BENNETT**  
PHONE: 207.862.3034

SCALE	As Noted
DATE	June, 2013
DRAWN BY	JDE
DESIGNED BY	CES
DRAWING NUMBER	5

Photos of Dock – March 24, 2017





