



Town of Hampden

Planning Board

Wednesday August 9, 2017, 7:00 pm

Municipal Building Council Chambers

Agenda

1. Administrative
 - a. Minutes – July 12, 2017

2. Old Business – None

3. New Business
 - a. Final Subdivision Plan: Kiser & Kiser for The Cushing Family Trust. Proposed 11 lot subdivision with a new cul-de-sac off Constitution Ave, with the reconfiguration of two existing lots on Constitution Ave, on a portion of parcel 06-0-041-A and on parcels 06-A-056 and 06-A-058. This is Phase 3 of the Colonial Heights development.

 - b. Public Hearing, Conditional Use: Amy Brickle for conversion of an existing single family house located at 326 Main Road North to a two-family dwelling, under the provisions of §3.7.6 of the Hampden Zoning Ordinance, in the Residential A district.

 - c. Public Hearing, Conditional Use and Major Site Plan Review: Sky Villa LLC for conversion of a portion of an existing structure located at 646 Main Road North, Tax Map 28 Lots 9 and 10, to a ten bed Social Setting Detoxification Center in addition to the existing 15 residential units on the property, under the provisions of §3.4.3 (use categorized as “nursing and convalescent homes”) of the Hampden Zoning Ordinance, in the Business district.

4. Staff Report

5. Planning Board Comments

6. Adjournment



Town of Hampden
 Planning Board
 Wednesday July 12, 2017, 7:00 pm
 Municipal Building Council Chambers

Minutes

In Attendance:

Planning Board

Peter Weatherbee
 Michael Avery
 Jim Davitt
 Mort Syversen
 Kelley Wiltbank

Staff & Others

Karen Cullen, AICP, Town Planner

 Don Meagher
 Jennifer Austin

Acting Chairman Weatherbee called the meeting to order at 7:00 pm.

1. Administrative

- a. Minutes of June 12, 2017 meeting: **Motion** by Member Davitt to approve as submitted; second by Member Avery, carried 5/0/0.

2. Old Business: None

3. New Business

- a. Public Hearing, Zoning Ordinance Amendment: §5.3, Permits. Amend the section to differentiate between a Certificate of Occupancy and a Certificate of Compliance and establish clear procedures for the issuance of each. Add definitions of these terms to §7.2. Acting Chairman Weatherbee opened the hearing at 7:02 pm. There were no public comments for or against the proposal, and the hearing was closed at 7:03. Planner Cullen gave a brief description of the amendment.

The Board then discussed the proposed amendments, the main points were:

- The certificate of compliance is for the Town to ensure that the site was constructed in accordance with the approved site plan, while the certificate of occupancy is for the Town to ensure the building was constructed in accordance with the building and life safety codes.
- The proposed amendments will ensure sites are built according to the plans
- The Ordinance Committee reviewed this with the old language and the proposed language is much clearer than the old language and a significant improvement.

Motion by Member Avery to send the proposed amendments to §5.3 and §7.2 of the zoning ordinance as written to Town Council with a recommendation "ought to pass"; second by Member Wiltbank; carried 5/0/0 by roll call vote.

DRAFT

- b. Public Hearing, Zoning Ordinance Amendment: §7.2, Definitions, regarding municipal solid waste, processing, and transfer station. Acting Chairman Weatherbee opened the hearing at 7:12 pm. There were no public comments for or against the proposal, and the hearing was closed at 7:12. Planner Cullen said these amendments were brought forth to ensure the interests of the citizens who have said quite clearly they don't want a transfer station in town. Based on the definition of processing, the town is currently at risk of having a transfer station opened. The Town Manager had requested that the ordinance be amended to eliminate that possibility.

Discussion:

- The amendments were drafted to avoid adverse impacts on the approved Fiberight facility as well as the existing operations at Pinetree.
- Both MRC/Fiberight and Cassella are aware of the proposal and as far as is known tonight, neither has any objection to the proposed amendments.

Motion by Member Syversen to send the proposed amendments to §7.2 of the zoning ordinance as presented to Town Council with a recommendation "ought to pass"; second by Member Davitt; carried 5/0/0 by roll call vote.

4. Staff report: Planner Cullen reported that the town has not had an official zoning map properly signed by the Town Manager and Town Clerk as required by the zoning ordinance since 1979. Each time the map is amended a new map is supposed to be printed and signed and put in the vault. Rather than go back and research every map amendment made since 1979 to ensure the boundaries are correct, staff recommends that the map as it is currently drawn be taken through the amendment process and after Town Council adopts it, it will be signed by the Town Manager and Town Clerk and put in the vault. Then, after each map amendment is adopted, a new map will be printed and signed as required.

Discussion as to the need for this; from a legal point of view it is better to have a properly adopted map when defending any sort of land use case. The Board agreed it made sense to go through this process. Member Avery mentioned the Board had done a thorough review of the map about five years ago, Member Syversen agreed they had reviewed it during the comprehensive planning process.

Planner Cullen also updated the Board on her work on zoning amendments, currently she is working on Articles 2 and 3. The Board agreed to wait to hold an ordinance committee meeting on this until Karen is closer to completion.

5. Planning Board Comments: Member Avery said he would like to sign off on the minutes for the official record; Planner Cullen said she'd have her assistant get these ready for him.

The meeting was adjourned at 7:30 pm by motion of Member Syversen with second by Member Davitt; motion carried 5/0/0.



Town of Hampden
Land & Building Services

Report on Application
Preliminary Subdivision Plan
Colonial Heights Phase 3

To: Planning Board
From: Karen M. Cullen, AICP, Town Planner *KMC*
Date: August 2, 2017

Project Information

Applicant: The Cushing Family Corporation
Site Location: Off Constitution Ave in Colonial Heights subdivision
Zoning District: Residential B
Proposal: Construct an 11 lot subdivision with a new road 1,044' ending in a cul-de-sac. Two existing lots on Constitution Ave will be reconfigured for the new road.

This subdivision plan has been reviewed by staff and the final plan submitted reflects the modifications requested throughout the review process. The Planning Board voted to grant the requested waivers on June 14, 2017.

The only item missing from the package for final approval is the improvement guarantee and letter from the Town Manager regarding same. The applicant expects to have those in hand for the Planning Board meeting on August 9.

Town Council is scheduled to act upon the request for the conservation easement to be held by the Town at their August 7, 2017 meeting; a verbal report on the result of that vote will be available at the Planning Board meeting on the 9th.

A draft Board Order is attached; staff recommends approval of the final plan provided the improvement guarantee and letter from the Town Manager are submitted at the meeting.



Town of Hampden
Land & Building Services
Planning Board Order
Colonial Heights Phase 3
Final Subdivision Plan

Approval Date: August 9, 2017

Project Name: Colonial Heights Phase 3, Freedom Way

Location of Project: Off Constitution Avenue

Assessor's Reference: 06-0-041-A, 06-A-056, and 06-A-058

Deed Reference: 11966/60 and 8100/43

Zoning District: Residential B

Total Acreage: Total site is 38.1 acres, area within Phase 3 is 9.09 acres

Type of Use: Single family residential subdivision

Number of Lots: 11 new lots plus 2 reconfigured lots on Constitution Ave.

Applicant: The Cushing Family Corporation
PO Box 211
Hampden, Maine 04444

Owner: Same as Applicant

Plans Prepared by: Kiser & Kiser Co.

Plans Dated: June 13, 2017

Application Date: May 24, 2017 for Hearing (Preliminary Plan); August 2, 2017 for Final Plan

Public Hearing: June 14, 2017 (Preliminary Plan); no hearing required for Final Plan

*PB Members:*¹ Peter Weatherbee, Michael Avery, Kelley Wiltbank, James Davitt, Morton Syversen, Eugene Weldon, and Tom Dorrity

PB Action: _____. This Final Subdivision Plan is _____ under Section 332 of the Hampden Subdivision Ordinance.

¹ Planning Board Members who were appointed to vote on this case.

DRAFT

Summary Description of Application: This application is to construct Phase 3 of the Colonial Heights subdivision, which is an existing residential neighborhood of 65 lots. Phase 1 was approved in 1979 and Phase 2 was approved in 2004. Two lots on Constitution Ave. in Phase 2 (lots 56 and 58) are still owned by the Cushing Family Trust, and are being reconfigured for the new road into Phase 3, which is 1,044' long ending in a cul-de-sac. Phase 3 consists of 11 new lots for single family homes, plus 29 acres of land being retained by the Cushing Family Corporation. The lot being retained has 30.47' of frontage on the cul-de-sac, allowing for utility extension into the retained parcel, and additional frontage on Mayo Road. A conservation easement on 12.33 acres along Reeds Brook is proposed to be held by the Town to comply with ME DEP requirements related to wetlands permitting.

Waivers: The Planning Board finds that the requested waivers will not nullify the purpose of the subdivision regulations, the comprehensive plan, the zoning ordinance, or any other ordinance, and therefore grants the following waivers from the Subdivision Ordinance.

1. Sections 331.3.3.11 and 553.14 require a four foot wide sidewalk, given that there are no existing sidewalks in the Colonial Heights subdivision the Board grants this waiver.
2. Sections 331.3.3.7 and 331.3.3.15 require trees larger than 12" dbh and landscaping and natural vegetation to be shown on the plan, given that the area was harvested and there are no known trees over 12" dbh on the site, nor is there significant vegetation on the site other than in the wetland areas, the Board grants this waiver.
3. Section 531.1 requires post-development stormwater runoff from the site to not exceed the pre-development runoff amount, given that there is less than one acre of impervious surface and that the subdivision has been reviewed by Maine DEP under the Stormwater Law, and stormwater mitigation is not required, the Board grants this waiver.

Findings: After the public hearing duly noticed and held, the Hampden Planning Board found that the applicable requirements in Article 500 of the Hampden Subdivision Ordinance have been met. Based on this, the Hampden Planning Board voted _____ to approve the Preliminary Subdivision Plan for the Cushing Family Corporation to construct Phase 3 of the Colonial Heights subdivision as previously described.

For the Hampden Planning Board:

Eugene Weldon, Chairman

Date

Michael Avery

James Davitt

Tom Dorrity

Morton Syversen

Peter Weatherbee

Kelley Wiltbank

Notes:

1. *A copy of this decision is on file with the Land & Building Services Office at the Town Offices, 106 Western Avenue, Hampden, ME 04444.*

Subdivision Application

Town of Hampden

Colonial Heights, Phase 3

Constitution Ave
Hampden, Maine

For

The Cushing Family Corporation

PO Box 211
Hampden, ME 04444

Prepared by



ENGINEERING & DEVELOPMENT CONSULTING

PO Box 282
Hampden, ME 04444

1 August 2017



1 August 17

Karen Cullen
Hampden Town Planner
106 Western Ave
Hampden, ME 04444

Final Plan Application, Colonial Heights Phase 3

Dear Karen,

On behalf of The Cushing Family Corp, we are submitting this Final Subdivision application for review and approval by the Planning Board. The attached plan and supporting data consists of final plan for the Mayo Road property, tax map 6, lot 41A. The plan has no effective changes from the preliminary approval which was granted on June 14, 2017.

To review, the new road, Freedom Ave, will access the Mayo Road property through a reconfiguration of lots 56 and 58 of phase 2 of Colonial Heights on Constitution Ave. Freedom Ave will provide access to 11 new lots and lots 56 & 58. The total new land added to Colonial Heights is 6.1 ac. Freedom Ave is designed as to prevent future use as a through road from Colonial Heights to Mayo Road. The road will not provide enough land width to extend the road but will provide access to the remaining land for utilities and non-vehicular travel.

The lots average approximately 18,500± sf to 33,100± sf. The homes are expected to be very similar to the houses constructed in phase 2 of Colonial Heights and will have similar restrictive covenants. Each lot will be served by public water and sewer through extensions from Constitution Ave. The utilities are design to provide for extension into remaining land of the applicant and included in the application are the design approval letters from the utility owners. Storm drains are located on the higher side of the road and are designed to provide for foundation drains new homes to access the drain lines. The Reeds Brook side lots have slopes to allow foundation drains to daylight to the rear of the home.

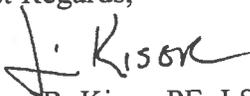
The project has obtained a NRPA Wetland permit amendment to increase the total impact area from development of phase 2 and phase 3 to a total of 28,965± sf. This phase of the project will impact an estimated 16,305 sf of wetland. As part of the DEP permit, the applicant is required to compensate for the total wetland impacts and is proposing to conserve land along Reeds Brook and other lands on the south side of Reeds Brook. This conservation land borders land that the school has conserved with the development of the high school. The applicant is seeking the town to accept the conservation easement.

As part of this application, we are submitting the following material.

1. Subdivision Application
2. USGS map
3. Aerial Photo
4. Sewer Approval Letter
5. Water Approval Letter
6. Fire Protection Approval Letter
7. Draft Deed for the road and easements
8. Construction Cost Estimate
9. Bank letter of Credit (under separate cover)
10. Plan Set: Subdivision Plan, Recording Plan, Road P&P, Details

We look forward to meeting with the planning board at the next available meeting and if you have any questions prior to the meeting, please contact us.

Best Regards,

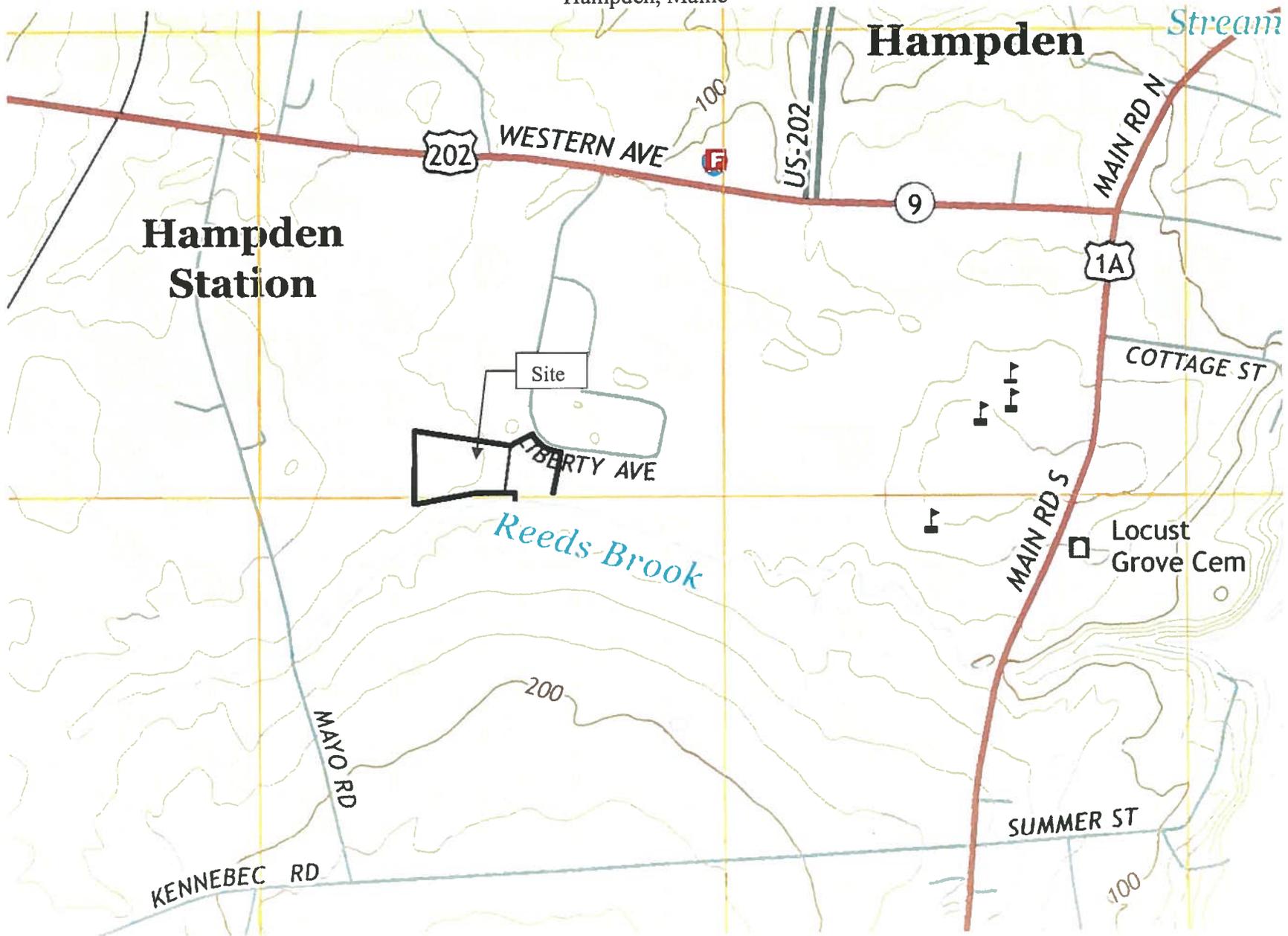


James R. Kiser, PE, LSE
Kiser & Kiser Company

Enc.

C: Andre Cushing

USGS Map
Colonial Heights, Phase III
Hampden, Maine



Hampden Quad, Scale 1"=1500'

Aerial Photo
Colonial Heights, Phase III
Hampden, Maine



Scale: 1"=300'

Town of Hampden
106 Western Avenue
Hampden, Maine 04444



Phone: (207) 862-3337
Fax: (207) 862-5067
email: Publicworks@hampdenmaine.gov

Dear Mr. Kiser,

Please let this letter serve as design approval for utilities specified on previously submitted plans stamped 5/23/17 for Phase III of the Colonial Heights subdivision.

If you have any questions or concerns, please call the Public Works Department at 862-3337.

Sean Currier

Director of Public Works
Town of Hampden
207-862-3337



6/22/2017

Kiser & Kiser Engineering
Jim Kiser P.E.
P.O. Box 282
Hampden, Maine 04444

Re: Freedom Way - Colonial Heights Subdivision

Dear Mr. Kiser,

The Hampden Water District has reviewed the plans submitted for Freedom Way in the Colonial Heights Subdivision and will approve the installation of an 8" Ductile Iron water main with 3/4" or 1" copper services to the curb stops.

A 5 1/4 " fire hydrant should be installed at the cul de sac for flushing purposes.

Inspection of this installation will be necessary so please contact us with the name and firm of the inspector as we now have a policy in place regarding this matter.

Please let us know if we can assist in any way.

Sincerely,

A handwritten signature in black ink, appearing to read "Jamie Holyoke".

Jamie Holyoke
Superintendent
Hampden Water District

Cc: Karen Culien, Town Planner, Town of Hampden

Hampden Public Safety

Emergency Services Working Together

106 Western Avenue
Hampden, ME 04444

Phone: 207-862-4000

Email: publicsafety@hampdenmaine.gov

<http://www.hampdenmaine.gov/>

<https://www.facebook.com/hampdenpublicsafety>

Police—Fire—EMS

July 10, 2017

Code Enforcement
Building Inspection
Fire Inspection

Local Health Office

Joseph L. Rogers
Director of Public Safety
Kandy A. McCullough
Adm'n. Office Manager

Police

T. Daniel Stewart

Sergeant / SRO

Scott A. Webber

Sergeant

Christian D. Bailey

Sergeant

Joel Small

Investigator

Joseph D. Burke

Patrol Officer

Benson G. Eyles

Patrol Officer

Shawn E. Devine

Patrol Officer

Marc Egan

Patrol Officer

William Miller

Patrol Officer

Jeffrey L. Rice

Patrol Officer

Fire

Jason Lundstrom

Lieutenant / Fire Inspector

Daniel Pugsley, Jr.

Lieutenant / Paramedic

Matthew St. Pierre

Lieutenant / Paramedic

Myles Block

CEO / Paramedic

Jared LeBarnes

Building Inspector / Paramedic

Joseph Dunton

Paramedic / Chaplain

Matthew Thomas

FF / Paramedic

Shawn McNally

FF / Paramedic

Matthew Roope

FF / Paramedic

Chris Liepold

FF / Paramedic

Mr. James Kaiser
15 Constitution Avenue
Hampden, ME 04444

Dear Mr. Kaiser:

After reviewing the plans for Colonial Heights, phase III subdivision, the Hampden Fire Department finds that the number, size, and location of the fire hydrant is satisfactory.

Sincerely,



Joseph L. Rogers
Director of Public Safety

Cc: Karen Cullen

WARRANTY DEED

THE CUSHING FAMILY CORPORATION, a corporation organized and existing under the laws of the State of Maine and with a principal place of business at Hampden, County of Penobscot and State of Maine (mailing address: P.O. Box 603, Hampden, ME 04444-0687), for consideration paid, grants to **THE INHABITANTS OF THE MUNICIPALITY OF HAMPDEN**, a municipal corporation located in Hampden, County of Penobscot and State of Maine (mailing address: 106 Western Avenue, Hampden, ME 04444), with **WARRANTY COVENANTS**, a certain lot or parcel of land situated in **Hamden**, County of Penobscot and State of Maine, further bounded and described in Exhibit A attached hereto and made a part hereof.

The purpose of this deed is to convey a certain roadway known as Freedom Avenue, to the Grantee herein.

IN WITNESS WHEREOF, Vincent W. Cushing, in his capacity as President of The Cushing Family Corporation, has hereunto set his hand and seal this _____ day of _____, 2017.

Signed, Sealed and Delivered
in presence of:

THE CUSHING FAMILY CORPORATION

Witness

By: _____
Vincent W. Cushing
Its President
Hereunto Duly Authorized

STATE OF MAINE
CUMBERLAND, ss.

_____, 2017

Personally appeared the above-named, Vincent W. Cushing and acknowledged the foregoing instrument to be his free act and deed and the free act and deed of said corporation.

Before me,

Notary Public / Attorney at Law
Name: _____
Commission Expires: _____

EXHIBIT A

A certain lot or parcel of land located on the southwesterly side of Constitution Avenue in the Town of Hampden, County of Penobscot, State of Maine and being more particularly described as follows:

BEGINNING at a point on the southwesterly side of Constitution Avenue, which point is located S 40° 20' 55" E, a distance of 103.47 feet from the southeasterly corner of Lot 60 as depicted on a subdivision plan entitled "Colonial Heights Phase 2", which plan is recorded at the Penobscot County Registry of Deeds in Map File 2004-187;

THENCE S 28° 40' 47" W, a distance of 24.73 feet to a point of curvature;

THENCE following a 117.00-foot radius curve to the right, an arc distance of 96.30 feet to a point of tangency, said curve has a chord bearing of S 52° 15' 30" W and a length of 93.60 feet;

THENCE S 75° 50' 13" W, a distance of 44.64 feet to a point of curvature;

THENCE following a 467.00-foot radius curve to the right, an arc distance of 117.92 feet to a point of tangency, said curve has a chord bearing of S 83° 04' 14" W and a length of 117.60 feet;

THENCE N 89° 14' 46" W, a distance of 554.82 feet to a point of curvature of a non tangent curve;

THENCE following a 50.00 foot radius curve to the left, an arc distance of 242.08 feet to a point, said curve has a chord bearing of S 0° 18' 14" W and a length of 66.00 feet;

THENCE S 89° 14' 46" E, a distance of 554.82 feet to a point of curvature;

THENCE following a 533.00-foot radius curve to the left, an arc distance of 134.58 feet to a point of tangency, said curve has a chord bearing of N 83° 04' 14" E and a length of 134.22 feet;

THENCE N 75° 50' 13" E, a distance of 44.64 feet to a point of curvature;

THENCE following a 183.00-foot radius curve to the left, an arc distance of 150.63 feet to a point of tangency, said curve has a chord bearing of N 52° 15' 30" E and a length of 146.40 feet;

THENCE N 28° 40' 47" E, a distance of 24.73 feet to a point on the southeasterly sideline of said Constitution Avenue;

THENCE running in a northwesterly direction by and along said Constitution Avenue, following a non tangent to the right, said curve has a radius of 233.00 feet, an arc distance of 66.22 feet to the point of beginning, said curve has a chord bearing of N 61° 19' 13" W and a length of 66.00 feet.

The above-described parcel of land is a portion of the premises described in the Warranty Deed given by Alden E. Badershall, Jane A. Badershall and John G. Crowe to The Cushing Family Corporation, dated February 11, 2002 and recorded at the Penobscot County Registry of Deeds in Book 8100, Page 43.

ALSO CONVEYING herewith two, thirty-foot-wide storm drainage easements:

Drainage Easement One:

Beginning on the southerly side of the above-described Freedom Avenue at the common corner between Lots 56 and 64 as depicted on a plan entitled "Subdivision Plan of Colonial Heights: Phase 3", said Plan is to be recorded at the Penobscot County Registry of Deeds, said easement is to be 15 feet on either side of the common line between said Lots 56 and 64;

THENCE S 24° 00' 21" E by and along the common line of said Lots 56 and 64, a distance of 207 feet, more or less, to the thread of Reeds Brook, so-called.

Drainage Easement Two:

BEGINNING on the southerly side of the above-described Freedom Avenue at the common corner between Lots 66 and 68 as depicted on a plan entitled "Subdivision Plan of Colonial Heights: Phase 3", said Plan is to be recorded at the Penobscot County Registry of Deeds, said easement is to be 15 feet on either side of the common line between said Lots 66 and 68;

THENCE S 0° 18' 14" W by and along the common line of said Lots 66 and 68, a distance of 240 feet, more or less to the thread of Reeds Brook, so-called.



0599900

00

RETTD

**MAINE REVENUE SERVICES
REAL ESTATE TRANSFER TAX
DECLARATION**

TITLE 36, M.R.S.A. SECTIONS 4641-4641N

PLEASE TYPE OR PRINT CLEARLY

1. COUNTY
PENOBSCOT **DO NOT USE RED INK!**

2. MUNICIPALITY/TOWNSHIP
HAMPDEN

BOOK/PAGE—REGISTRY USE ONLY

| | | |
|----------------------------------|--|-----------------------|
| 3. GRANTEE/ PURCHASER | 3a) Name (LAST, FIRST, MI) THE INHABITANTS OF THE TOWN OF HAMPDEN | 3b) SSN or Federal ID |
| | 3c) Name (LAST, FIRST, MI) | 3d) SSN or Federal ID |
| | 3e) Mailing Address 106 WESTERN AVENUE | |
| | 3f) City HAMPDEN | 3g) State ME |
| | | 3h) Zip Code 04444 |

| | | |
|-------------------------------|--|-------------------------------------|
| 4. GRANTOR/ SELLER | 4a) Name (LAST, FIRST, MI) THE CUSHING FAMILY CORPORATION | 4b) SSN or Federal ID 01-0495705 |
| | 4c) Name (LAST, FIRST, MI) | 4d) SSN or Federal ID |
| | 4e) Mailing Address P.O. BOX 603 | |
| | 4f) City HAMPDEN | 4g) State ME |
| | | 4h) Zip Code 04444 |

| | | | |
|--------------------|---|---|--|
| 5. PROPERTY | 5a) Map Block Lot Sub-Lot | Check any that apply: | 5b) Type of property—Enter the code number that best describes the property being sold. (See instructions) |
| | 5c) Physical Location FREEDOM AVENUE | <input type="checkbox"/> No tax maps exist <input type="checkbox"/> Multiple parcels <input type="checkbox"/> Portion of parcel | 5d) Acreage: |

| | | |
|------------------------|---|-----------------|
| 6. TRANSFER TAX | 6a) Purchase Price (If the transfer is a gift, enter "0") | 6a \$ _____ .00 |
| | 6b) Fair Market Value (enter a value only if you entered "0" in 6a) or if 6a) was of nominal value) | 6b \$ _____ .00 |
| | 6c) Exemption claim - Check the box if either grantor or grantee is claiming exemption from transfer tax and explain. | |

7. DATE OF TRANSFER (MM-DD-YYYY)

____/____/____

MONTH DAY YEAR

8. WARNING TO BUYER—If the property is classified as Farmland, Open Space or Tree Growth, a Substantial financial penalty could be triggered by development, subdivision, partition or change in use.

CLASSIFIED

9. SPECIAL CIRCUMSTANCES—Were there any special circumstances in the transfer which suggest that the price paid was either more or less than its fair market value? If yes, check the box and explain:

10. INCOME TAX WITHHELD—Buyer(s) not required to withhold Maine income tax because:

Seller has qualified as a Maine resident

A waiver has been received from the State Tax Assessor

Consideration for the property is less than \$50,000

11. OATH

Aware of penalties as set forth by Title 36 §4641-K, we hereby swear or affirm that we have each examined this return and to the best of our knowledge and belief, it is true, correct, and complete. Grantee(s) and Grantor(s) or their authorized agent(s) are required to sign below:

Grantee _____ Date _____ Grantor _____ Date _____

Grantee _____ Date _____ Grantor _____ Date _____

12. PREPARER

Name of Preparer Irwin, Tardy & Morris Phone Number (207) 368-2828

Mailing Address P.O. Box 476 E-Mail Address tardylaw@roadrunner.com

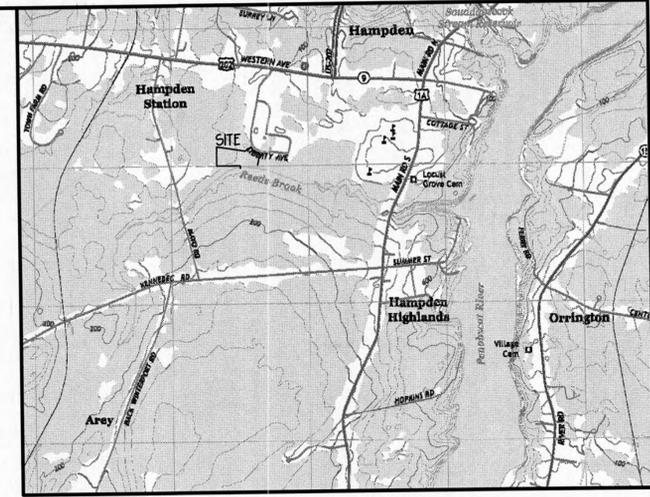
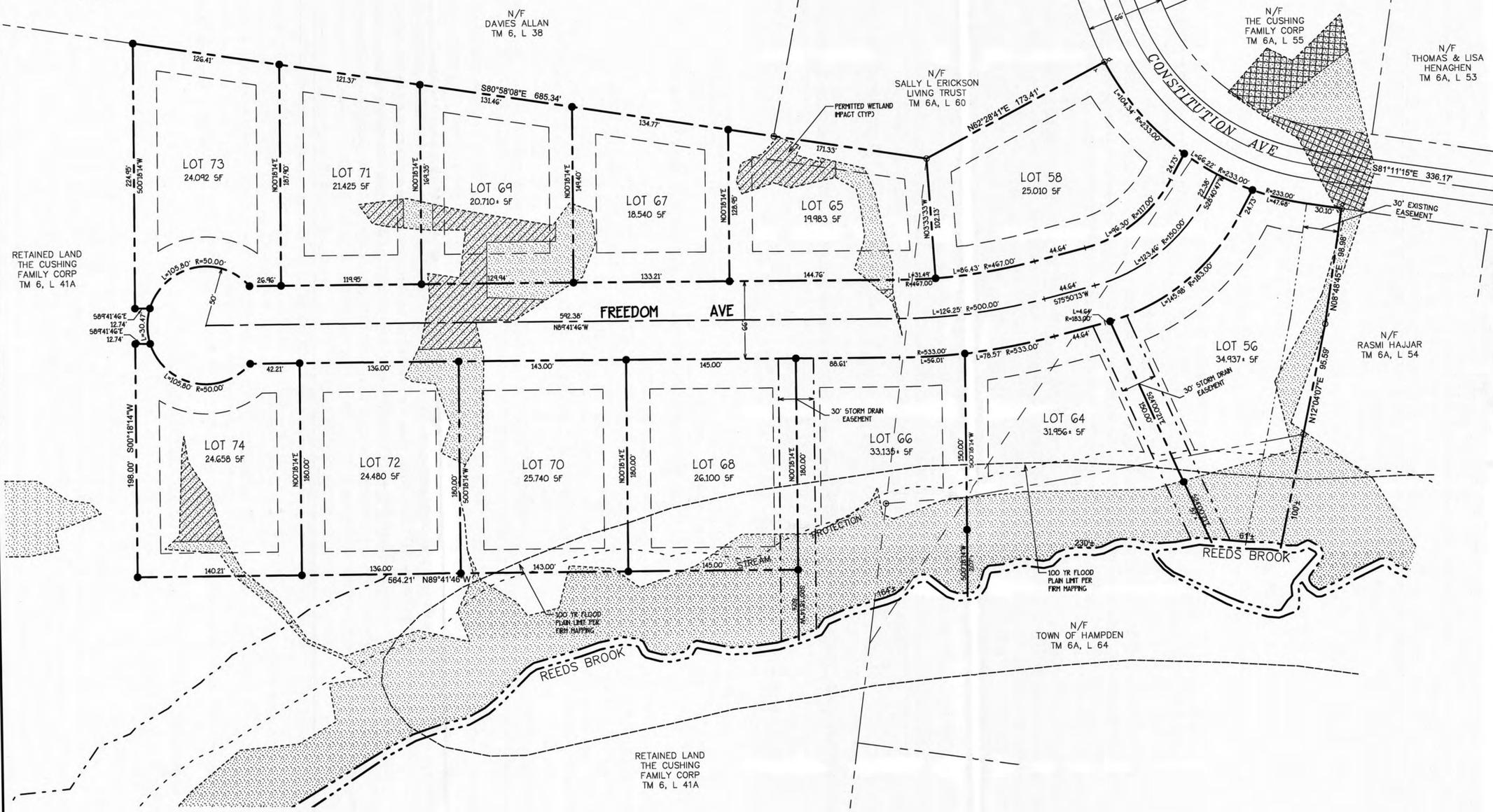
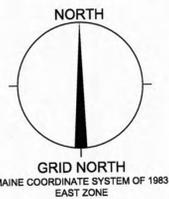
Newport, ME 04953-0476

Town of Hampden

IMPROVEMENT GUARANTEE - COST ESTIMATE

| NAME OF SUBDIVISION | | Colonial Heights 3 | | |
|----------------------|--------------|--------------------|----------|--------------|
| ESTIMATE PREPARED BY | | J. Kiser | | |
| DATE | 12 June 2017 | ACCEPTED | | |
| | UNITS | \$/UNIT | TOTAL | COMMENTS |
| SITE WORK | | | | |
| COMMON EXCAVATION | 2,400 | \$10 | \$24,000 | |
| GRUBBING | 1,200 | \$7 | \$8,400 | |
| CLEAR/STUMP | 1 | \$2,000 | \$2,000 | |
| UTILITIES | | | | |
| SEWER | | | | |
| PIPE | 840 | \$40 | \$33,600 | |
| MANHOLES | 4 | \$3,500 | \$14,000 | |
| SERVICES | 11 | \$750 | \$8,250 | |
| OTHER | 1 | \$2,000 | \$2,000 | Core manhole |
| WATER | | | | |
| PIPE | 1,000 | \$80 | \$80,000 | |
| HYDRANTS | 1 | \$3,500 | \$3,500 | |
| SERVICES | 11 | \$750 | \$8,250 | |
| OTHER | 1 | \$5,000 | \$5,000 | Tap |
| DRAINAGE | | | | |
| 10" PIPE | 509 | \$30 | \$15,270 | |
| 12" PIPE | 0 | \$40 | \$0 | |
| 15" PIPE | 368 | \$50 | \$18,400 | |
| FIELD BASIN | 4 | \$1,500 | \$6,000 | |
| CB/DMH | 2 | \$3,500 | \$7,000 | |
| DETENTION POND | N/A | | | |
| OTHER | N/A | | | |
| ELECTRICAL | | | | |
| OVERHEAD CABLE | 1,000 | \$3 | \$3,000 | |
| POLES | 5 | \$800 | \$4,000 | |
| TELEPHONE | N/A | | | |
| OTHER | | | \$0 | |
| ROADS | | | | |
| GRAVEL | | | | |
| BASE | 330 | \$35 | \$11,550 | |
| SUB-BASE | 1,475 | \$30 | \$44,250 | |
| PAVING | | | | |
| 19.0mm | 340 | \$75 | \$25,500 | |
| 12.5mm | 210 | \$80 | \$16,800 | |
| OTHER | N/A | | | |

| | | | | |
|----------------------------|----|--------------|-----------|---------------|
| LANDSCAPING | | | | |
| LOAM | 5 | \$500 | \$2,500 | 1000 sf units |
| SEED/FERT/MULCH | 5 | \$250 | \$1,250 | |
| EROSION CONTROL | 1 | \$5,000 | \$5,000 | |
| SURVEY & LAYOUT | | | \$0 | |
| ROADS & UTILITIES | 1 | \$2,000 | \$2,000 | |
| LOTS | 11 | \$200 | \$2,200 | |
| OTHER | | | \$0 | |
| | | TOTAL | \$353,720 | |



LOCATION MAP
SCALE: 1"=2,000'

GENERAL NOTES:

- COLONIAL HEIGHTS PHASE 3 WILL AMEND 2 LOTS APPROVED IN COLONIAL HEIGHTS PHASE 2. THE 2 LOTS ARE LOT 56 AND LOT 58 AS SHOWN ON SUBDIVISION PLAN TITLED 'SUBDIVISION PLAN (AMENDED), COLONIAL HEIGHTS PHASE 2' DATED SEPTEMBER 23, 2004 AND RECORDED IN THE PENOBSCOT COUNTY REGISTRY OF DEEDS IN PLAN FILE 2004-187.
 - RECORD OWNER OF PROPERTY IS CUSHING FAMILY CORPORATION, HAMPDEN, MAINE BY DEEDS RECORDED IN PORD BOOK 8100, PAGE 43 AND BOOK 11966, PAGE 60.
 - THE PROPERTY IS SHOWN ON THE TOWN OF HAMPDEN'S TAX MAP 6, LOT 41A; TAX MAP 6A, LOT 58 AND TAX MAP 6A, LOT 56. TOTAL AREA OF NEW LAND TO BE DEVELOPED IS 6.1 AC.
 - THE PROPERTY IS LOCATED IN THE RESIDENTIAL B DISTRICT (PUBLIC SEWER + WATER)
- | SPACE AND BULK | MIN LOT SIZE | 16,500 SF |
|-------------------|--------------|-----------|
| MIN ROAD FRONTAGE | 100 FT | |
| STREET YARD | 25 FT | |
| OTHER YARD | 20 FT | |
| MAX BLDG HEIGHT | 35 FT | |
- BOUNDARY SURVEY PREPARED BY PLISGA + DAY LAND SURVEYORS, BANGOR, MAINE.
 - TOPOGRAPHIC SURVEY BY AERIAL LIDAR MAPPING PROVIDED BY STATE OF MAINE WITH GROUND VERIFICATION BY PLISGA + DAY LAND SURVEYORS, BANGOR, MAINE. COORDINATE SYSTEM AND NORTH ORIENTATION REFERENCE THE MAINE COORDINATE SYSTEM OF 1983, EAST ZONE (NAD83-2014) WITH UNITS IN U.S. SURVEY FEET. VERTICAL DATUM IS NAVD83 WITH UNITS OF FEET.
 - WETLANDS MAPPED BY BURMAN LAND + TREE COMPANY, LLC, ORRINGTON, MAINE. WETLANDS SHOWN ON PORTIONS OF COLONIAL HEIGHTS, PHASE 2 ARE TRANSFERRED FROM PROPERTY FILE FOR THAT PHASE OF DEVELOPMENT. TOTAL WETLAND IMPACT AREA IS 10,650+ SF.
- | AREA SUMMARY: | AREA |
|------------------------|--------------|
| DESCRIPTION | |
| MAYO ROAD PARCEL | 35.1+ AC |
| LAND TO BE RETAINED | 29.0+ AC |
| MAYO DEVELOPMENT LOT | 266,317 SF |
| LOT 56 COLONIAL HGTS | 74,472 SF |
| LOT 58 COLONIAL HGTS | 54,989 SF |
| TOTAL AREA OF PHASE 3 | 395,778 SF |
| ROAD ROW | 64,865 SF |
| TOTAL AREA OF LOTS | 330,913 SF |
| DENSITY OF DEVELOPMENT | 1.7 UNITS/AC |
- THE FLOOD PLAN LIMITS SHOWN HEREON ARE INTERPOLATED FROM FRM MAPS PANEL 21 B PREPARED FOR THE TOWN OF HAMPDEN. THE FLOOD PLAN IS ZONE 'A' WITH NO FLOOD ELEVATIONS DETERMINED. LIMITS ARE FOR REFERENCE ONLY AND DO NOT INDICATE FURTHER STUDIES WERE PREPARED AS PART OF THIS SUBDIVISION.
 - WETLAND IMPACTS SHOWN ON THIS PLAN HAVE BEEN PERMITTED WITH MAINE DEP. NO FURTHER IMPACTS ARE ALLOWED WITHOUT APPROVAL FROM MAINE DEP.
 - THIS PROJECT HAS OBTAINED A STORMWATER LAW PERMIT-BY-RULE FOR TOTAL DISTURBED AREA IN EXCESS OF 1 AC AND NEW IMPERVIOUS AREA AT 21,890+ SF



LEGEND

| SYMBOL | DESCRIPTION |
|----------|------------------------------|
| --- | LOCUS/PROPOSED PROPERTY LINE |
| --- | ABUTTING PROPERTY LINE |
| --- | PROPOSED EASEMENT |
| --- | SETBACK |
| ••• | IRON PIPE/ROD FOUND |
| # | REBAR TO BE SET |
| WETLANDS | WETLANDS |

PLANNING BOARD APPROVAL

THIS IS TO CERTIFY THAT AFTER REVIEWING THE SUBDIVISION SUBMISSION INFORMATION FOR THE SUBDIVISION SHOWN ON THIS PLAN AND CONSIDERING EACH OF THE CRITERIA SET FORTH IN M.R.S.A. TITLE 30-A, SECTION 4404 (AS AMENDED) AND IN THE HAMPDEN SUBDIVISION ORDINANCE, THE UNDERSIGNED HAVING MADE FINDINGS OF FACT ESTABLISHING THAT THIS SUBDIVISION PLAN ALONG WITH ITS ADDITIONAL SUBMISSION INFORMATION HAS MET ALL THE CRITERIA SET FORTH AND THEREFORE THE SUBDIVISION IS APPROVED.

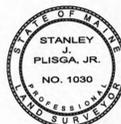
APPROVED: TOWN OF HAMPDEN PLANNING BOARD

CHAIRMAN

STATE OF MAINE
PENOBSCOT, SS
REGISTRY OF DEEDS
RECEIVED AND FILED

20____
h m M
ATTEST: _____ REGISTER
RECORDED AS MAP FILE: _____

PLISGA & DAY
LAND SURVEYORS
72 MAIN STREET
BANGOR, MAINE



SURVEY STANDARD

THIS PLAN WAS PREPARED FROM INFORMATION OBTAINED BY A SURVEY CONFORMING SUBSTANTIALLY TO THE REQUIREMENTS OF TECHNICAL STANDARDS CONTAINED IN CHAPTER 90, PART 2, OF THE RULES OF THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS, EFFECTIVE APRIL 1, 2001.

Stanley J. Plisga, Jr.
STANLEY J. PLISGA, JR.
PROFESSIONAL LAND SURVEYOR No. 1030

| | | | |
|-----------|-------|-----|---------------|
| REV: | DATE: | BY: | COMMENTS: |
| 13 JUN 17 | | JRK | SCALE: 1"=50' |

SUBDIVISION RECORDING PLAN
COLONIAL HEIGHTS: PHASE 3
CONSTITUTION AVE
HAMPDEN, MAINE

RECORD OWNER:
THE CUSHING FAMILY CORP
PO BOX 211
HAMPDEN, ME 04444



ENGINEERING & DEVELOPMENT CONSULTING
PO BOX 282, HAMPDEN, MAINE 04444
207-862-4700



Town of Hampden
Land & Building Services



Report on Application
Conditional Use
Brickle – Accessory Apartment

To: Planning Board
From: Karen M. Cullen, AICP, Town Planner *KMC*
Date: August 1, 2017

Project Information

Applicant: Amy Brickle
Site Location: 326 Main Road North
Zoning District: Residential A
Proposal: Convert space above a detached garage to an accessory apartment.

I have reviewed this application and have determined it to be in compliance with the requirements of Section 4.2, Conditional Uses, of the Zoning Ordinance, as well as Section 4.25, Accessory Apartments.

In 2014 a building permit was issued for a detached two car garage with unfinished space above. This application is to convert that unfinished space into an accessory apartment for family use. This application is being processed under the newly adopted Accessory Apartment provisions allowing an apartment in a detached accessory structure.

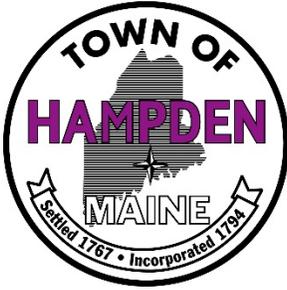
The proposal meets the criteria under §4.25 (Accessory Apartments):

- Only one apartment is being proposed on the property.
- The owner of the property will continue to occupy the main residence.
- The detached garage will not change in appearance from the outside.
- Proposed accessory apartment = 384 square feet; main house = 1,500 square feet
- Proposed accessory apartment = 25.6% of the total living area of the main house (less than the 40% maximum).
- There is sufficient space for a dedicated parking space for the accessory apartment.

The proposal meets the standards under §4.2.3. (Conditional Use Permits):

1. The proposed use will comply with the Ordinance, given that it is the addition of an accessory apartment within an existing garage at a single family house which meets the requirements of §4.25.
2. The proposed use provides adequate and safe disposal of all wastes, given that the property is served by public water and sewer systems.
3. The proposed use should not impact the value of abutting properties, given the nature of the request.
4. The proposed use will not cause unreasonable noise, odors, dust, gas, fumes, smoke, light, or other annoying or dangerous emissions, given that it is a residential use in a residential neighborhood.
5. The proposed use will not have an impact on traffic given that it is a residential use adding one additional dwelling unit.
6. The proposed use will not impact light or air to surrounding properties, given that it does not involve construction – the garage already exists.
7. The proposed use will not impact the environment or wildlife habitat, given that it is a residential use with no new construction.
8. The applicant has adequate capacity to meet the requirements of the Ordinance.
9. Not applicable.

Based on the above, I recommend approval of the conditional use application as submitted. I have prepared a draft Planning Board Order for this application, attached.



Town of Hampden
Land & Building Services

Planning Board Order
Brickle – Accessory Apartment

Approval Date: August 9, 2017

Project Name: Brickle Accessory Apartment

Location of Project: 326 Main Road North

Assessor's Reference: 24-0-010

Deed Reference: B13988/P285

Zoning District: Residential A

Total Acreage: 1.47 acres

Type of Use: Addition of an accessory apartment above a detached garage

Building Area: 1,500 sq ft living area in house; 384 sq ft for accessory apartment

Applicant: Amy Brickle
326 Main Road North
Hampden, ME 04444

Owner: Same as Applicant

Plans Prepared by: NA

Plans Dated: Undated

Application Date: June 5, 2017

Public Hearing: August 9, 2017

*PB Members:*¹ Michael Avery, James Davitt, Tom Dorrity, Morton Syversen, Peter Weatherbee, Eugene Weldon, and Kelley Wiltbank

PB Action: Approved. This Conditional Use is approved under Section 4.2 of the Hampden Zoning Ordinance.

¹ Planning Board Members who were appointed to vote on this case.

DRAFT

Summary Description of Application: This application is to convert an unfinished space above a detached garage to an accessory apartment at a single family residence. No exterior alterations are proposed and the home will retain the appearance of a single family home.

Findings: After the public hearing duly noticed and held, the Hampden Planning Board made the following findings as required by Sections 4.2.3 and 4.25 of the Hampden, ME Zoning Ordinance:

1. The proposed use will comply with the Ordinance, given that it is the addition of an accessory apartment within an existing garage at a single family house which meets the requirements of §4.25.
2. The proposed use provides adequate and safe disposal of all wastes, given that the property is served by public water and sewer systems.
3. The proposed use should not impact the value of abutting properties, given the nature of the request.
4. The proposed use will not cause unreasonable noise, odors, dust, gas, fumes, smoke, light, or other annoying or dangerous emissions, given that it is a residential use in a residential neighborhood.
5. The proposed use will not have an impact on traffic given that it is a residential use adding one additional dwelling unit.
6. The proposed use will not impact light or air to surrounding properties, given that it does not involve construction – the garage already exists.
7. The proposed use will not impact the environment or wildlife habitat, given that it is a residential use with no new construction.
8. The applicant has adequate capacity to meet the requirements of the Ordinance.
9. Only one apartment is being proposed on the property; the owner of the property will continue to occupy the main residence; the detached garage will not change in appearance from the outside; the proposed accessory apartment will be 384 square feet or 25.6% of the total living area of the main house; and there is sufficient space for a dedicated parking space for the accessory apartment. (Section 4.25)

Based on these findings, the Hampden Planning Board voted ____ to approve the Conditional Use for Amy Brickle to add an accessory apartment at her single family residence as previously described.

For the Hampden Planning Board:

Eugene Weldon, Chairman

Date

Michael Avery

James Davitt

Tom Dorrity

Morton Syversen

Peter Weatherbee

Kelley Wiltbank

Notes:

1. *A copy of this decision is on file with the Land & Building Services Office at the Town Offices, 106 Western Avenue, Hampden, ME 04444.*
2. *This decision is subject to appeal in accordance with Article 6 of the Hampden Zoning Ordinance within 30 days after the date this decision is made by the Planning Board.*



SITE PLAN - PERMITTED/CONDITIONAL USE APPLICATION

Please note that this application must be submitted with plans in conformance with Section 4.1 and 4.2 of the Hampden Zoning Ordinance. *Incomplete applications will not be processed. All fees must be paid for application to be processed. Proper number of copies of application must be submitted in order to be processed.* All town ordinances are available at www.hampdenmaine.gov for review.

Date: June 5 - 2017

RECEIVED

JUN 05 2017

APPLICANT:

TOWN OF HAMPDEN ASSESSING DEPT.

Name: Amy Brickle.

Address: 326 Main Rd North.

Phone: _____ Cell: 745-4133 Email: Amyla2657@10Tmail.com.

AGENT:

Name of agent or representative: Chris Shawley 15 North, Carpenters + Associates

Address: 46 Pleasant St Hampden.

Phone: _____ Cell: 944-5866 Email: Chris.15North@gmail.com.

THE SITE:

Location of site: 326 Main Rd N. Hampden tax map and lot number: 24-0-010

Zoning district: Res A. Existing use of property: Owner occupied.

Legal interest in the parcel: Residence.

Owner of parcel if other than applicant: _____

Owner's address: _____

PROPOSED PROJECT:

Proposed use of property: Family Use Apartment Above Garage.
(Please include floor area per use, seating if applicable, and land area).

Proposed starting date: Immediately Final completion date: 4 weeks.

(APPLICATION CONTINUES ON REVERSE SIDE.)

Will your project result in more than one acre of disturbed land area? Yes No.

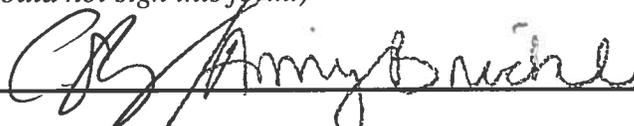
If yes, you are required to obtain either a Construction General Permit or Stormwater Permit by Rule from the Maine Department of Environmental Protection. If you are in the Urbanized Area of Town and discharge stormwater to the Municipal Separate Storm Sewer System (MS4) a Post-construction Stormwater Management Application shall be submitted to the Town pursuant to the Town of Hampden Post-construction Stormwater Management Ordinance.

FEES: Application fee is: \$75.00 for structures under 3,000 sq. ft. and total site improvements under 5,000 sq. ft.; \$150.00 for structures between 3,000 and 20,000 sq. ft. and total site improvements under 50,000 sq. ft.; and \$500.00 for structures in excess of 20,000 sq. ft. and more than 50,000 sq. ft. of site improvements.

Application fee amount: 75

Draw account contribution: The Town of Hampden requires applicants to provide \$600.00 for the Town to hire an engineer to review their plans and, if necessary, \$1,000.00 for an engineer to review their traffic analysis. **Draw account contribution is:** _____ (Any unspent portion of the draw account will be returned to applicant, however, if additional funds are required, applicant agrees to cover all costs that the Town of Hampden may incur. Complete and accurate submissions require less time to review.)

CERTIFICATION: By signing this form I certify that the information provided on these plans, text, and associated testimony is true and correct. I certify that all site improvements will be constructed in strict conformance with Planning Board approved plans. Furthermore, I acknowledge that if the constructed site improvements are not built in accordance with the zoning ordinance and Planning Board approved plans that I am obliged to take corrective action that may include obtaining a revised Planning Board approval or the removal of non-conforming uses and structures and site improvements. (Agents that lack authority to certify said items should not sign this form.)

Signature:  Date: June 5/2017

OFFICE USE ONLY

Date received: _____ Date complete: _____

Fees paid: Amount/Date: _____ Draw paid: Amount/Date: _____

Conditional Use determination: _____

Planning Board action: _____ Date: _____

Conditions: _____



TOWN OF HAMPDEN

Brickle - 2014 building permit

CODE ENFORCEMENT Building Permit Application

EFFECTIVE DECEMBER 1, 2010
Maine Uniform Building & Energy Code

APPLICATION DATE: 11/17/14

APPROVED: JL

Inspections Required

- Fndtn: PPF PPW PPS
- Plumbing Framing
- Fire Resist Final

For Office Use Only

PERMIT TYPE(S) REQUESTED:

- NEW STRUCTURE MS ADDITION ALTERATION REPAIRS
- ACCESSORY STRUCTURE MOVE BUILDING DEMOLITION OTHER: _____

APPLICANT INFORMATION

Applicant's Name: SHAWN McDOWALL
 Mailing Address: 326 MAIN ROAD N.
 HAMPDEN, ME 04444

TELEPHONE NUMBERS:
 Home: 862-2020
 Cell: 852-2585
 Email: SMcDowall6@HampdenMe.com

Is the applicant also the property owner? YES NO (If no, complete owner information below)

OWNER INFORMATION

Owner(s) Name: _____
 Mailing Address: _____

TELEPHONE NUMBERS:
 Home: _____
 Cell: _____
 Email: _____

CONTRACTOR INFORMATION

Contractor Name: _____
 Mailing Address: _____

TELEPHONE NUMBERS:
 Home: _____
 Cell: _____
 Email: _____

STREET NUMBER: 326 STREET NAME: MAIN ROAD N.

TAX MAP: 24 LOT: 0 - 010 LOT AREA: 1,47 Acres Square feet

ZONING DISTRICT(S): RESIDENTIAL A

PROPOSED LAND USE (From list of uses in ordinance): N/A ACCESSORY USE

***WILL YOUR PROJECT RESULT IN MORE THAN ONE ACRE OF DISTURBED LAND AREA?** YES NO.
 If yes, you are required to obtain a Construction General Permit or Stormwater Permit by Rule from the Maine Department of Environmental Protection.

STRUCTURE SETBACKS: Front (street) Lot Line 103 ft. Side Lot Line (closest) 27 ft.
 (All setbacks are measured from property lines not pavement edge) Rear Lot Line 350 ft. Refer to Article 3 of Town of Hampden Zoning Ordinance for setbacks pertaining to individual Zoning Districts

We highly recommend the use of a Professional Land Surveyor for siting the location of principal use buildings.

STRUCTURE DIMENSIONS: Length 33 ft. Width 30 ft.

SQUARE FOOTAGE: Basement: _____ ft.² 1st Floor: _____ ft.² 2nd Floor: _____ ft.²
 Garage: 990.00 ft.² Decks: _____ ft.² Other- _____ : _____ ft.²
 Total Square Footage: _____ ft.²

STRUCTURE HEIGHT: Present: 0 ft. Proposed: 10 ft. # Stories: 1

OK

TYPE OF WATER SUPPLY: Private Public: Contact Hampden Water District (862-3490) for meter sizing.

TYPE OF SEWAGE DISPOSAL: Septic System (Submit 3 copies of system design for all new or expanded dwellings)
 Public Sewer (Submit Sewer Hook-on Permit Application for new construction)

N/A

PROJECT DESCRIPTION

Describe your proposed construction, in detail: Type of building, number of stories, proposed use. For example, you might describe a new house as a 'two story colonial, site-built, 3 Bedrooms, 2 Baths, eat-in Kitchen, formal Dining Room, Living Room, Family Room w/ walk-out basement'. Be thorough to avoid delays in review of your project.

A scaled and dimensioned floor plan for all levels including basement must be included.

ONE STORY 30X33 TWO CAR GARAGE DETACHED FROM HOME ON SLAB WITH CONVENTIONAL 2X6 FRAMING, GABLE END ROOF, & ASPHALT SHINGLES.

PLEASE SEE THE ATTACHED COPIES OF ASCE 32 FOR DETAIL ON THE FROST PROTECTION OF THE SLAB FOUNDATION. 2" RIGID INSULATION 49" OUTSIDE THE EXTENSION OF THE SLAB COVERED BY 12" OF MIDOT TYPE A GRAVEL. SLAB WILL HAVE THICKENED EDGES, 18" THICK

CONSTRUCTION DETAILS

MODULAR AND MOBILE HOME SECTION

Check Here if not applicable

Year Made: _____ Make: _____ Model: _____ Size: _____

Serial Number: _____ HUD Certification Number: _____

FOUNDATION

Either attach a copy of the materials list for your structure or fill in the information below.

Be complete - incomplete applications will be delayed.

Frost Line Depth= 5 feet (From bottom of footing to finished grade)

Foundation Material: Concrete Masonry Other: _____

Foundation Type: Full Crawl Space Slab with Frost Walls
 ASCE 32 compliant Piers Frost protected shallow (IRC R403.3)
 Other: SLAB WITH INSULATION

Footing Size: Width: _____ in. Thickness/Depth: _____ in.

Foundation Walls: Thickness: _____ in. Height: _____ ft. Unbalanced Backfill Height: 1 ft.
(Difference in vertical height between exterior finished grade and interior basement slab)

Reinforcement: Horizontal: See Table R404.1.2(1)

Vertical (where applicable): Bar size: 5 On-center Spacing of Bars: 12" inches

Floor: Thickness: 6 in. w/ 18" THICKENED EDGE

Concrete Strength: Please Refer to Table R402.2 for Minimum Specified Compressive Strengths

Foundation Drainage (Section R405): N/A NO SPACES BELOW GRADE, WELL DRAINING SOIL

STRUCTURAL FRAMING

Lumber (Graded, dressed and stamped) Steel Other: _____

Manufacturer documentation for any engineered/prefabricated wood products such as LVL carrying beams, floor or roof trusses and/or wood I beam style floor joists/roof rafters being used, must be provided.



BUILDING PERMIT

Permit Number: 15-076 Permit Fee: \$124.00

Yellow Copy-Must be posted in visible location

White Copy- Retained by Applicant or Owner

INSPECTIONS REQUIRED

Property Information:

Owner: Shawn McDougall

Location: 326 Main Road North

Map: 24 Lot(s): 10

Zoning District: Res. A

Minimum Structure Setbacks: Front yard- 25' Side yard- 20' Rear yard- 20'

Phone: 862-2020 / 852-2585

Applicant Information:

Name: Shaw McDougall

Address: 326 Main Road North

City, State, Zip: Hampden, ME 04444

Phone: 852-2585

Contractor Information:

Name:

Address:

City, State, Zip:

Phone:

Project Description: Construct a 33' x 30' 2 car detached garage.

Required Inspections: See "Required Building Inspections" Handout

Foundation (Pre-pour footing, ~~Pre-pour wall~~ and Pre-pour slab)

Plumbing (Prior to concealing any portion of the plumbing system)

Framing (Just prior to placement of insulation)

Insulation (Prior to concealing any insulation products)

Fire-resistance-rated Construction (Inspection shall be conducted prior to fasteners and joints being taped or finished)

Final (When all work is complete)

Please call 862-8422 for Building inspections

Please call 862-4500 for Plumbing inspections

Conditions: Second Permit for construction of the building on this site.

NO CONSTRUCTION SHALL BE COMMENCED PRIOR TO PLACEMENT OF PROPER EROSION & SEDIMENTATION CONTROL DEVICES.

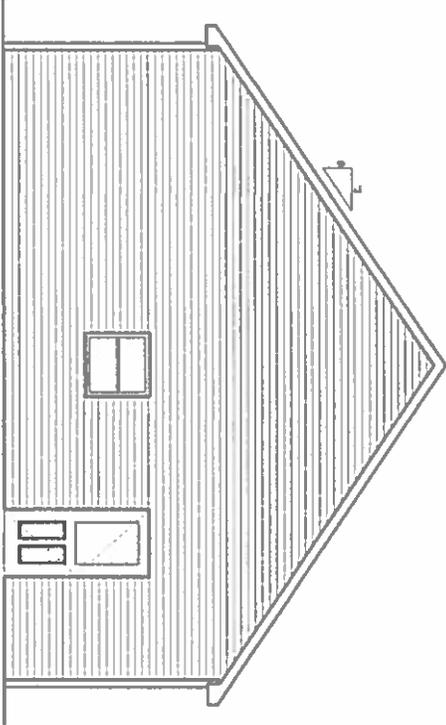
Notes: All Structures must comply with the Town of Hampden Zoning Ordinance, the Maine Uniform Building & Energy Code, The Town of Hampden Life Safety Code and all other pertinent codes, laws, regulations, rules, and ordinances. This permit does not substitute State of Maine Internal or Subsurface Plumbing Permits. Building permits expire if the work or change is not commenced within six (6) months of the date on which the permit is granted, or if the work or change is not substantially completed within two (2) years of the date on which the permit is granted.

11-17-2014

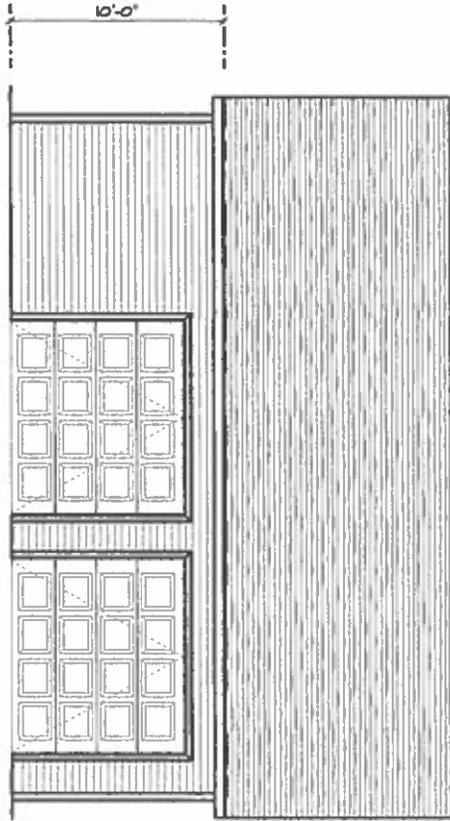
Date

Myles M. Block
Code Enforcement Officer

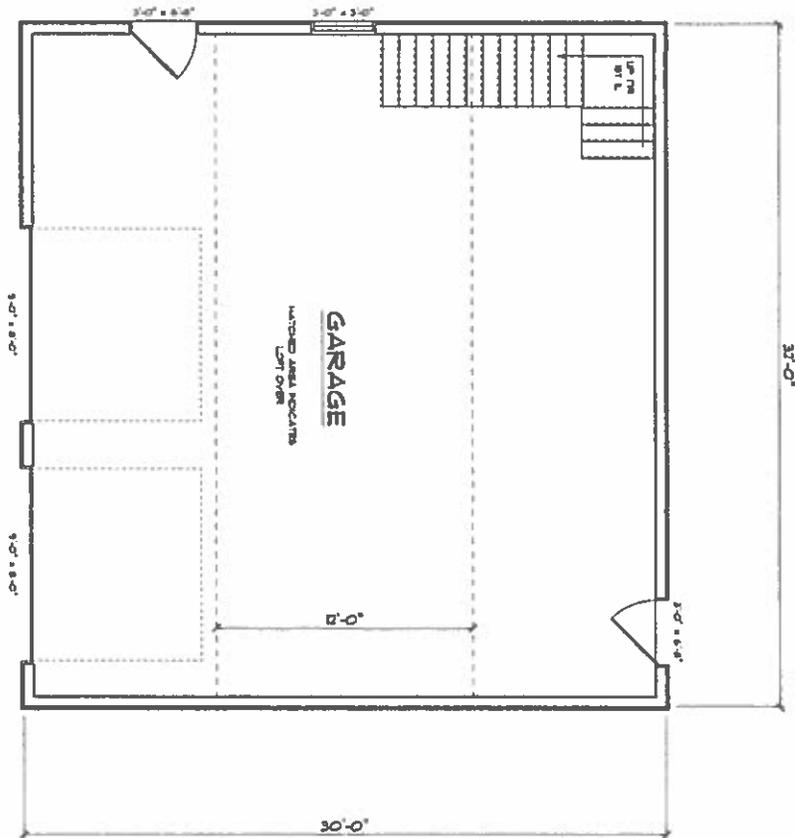
LEFT ELEVATION



FRONT ELEVATION



FLOOR PLAN



DISCLAIMER
 THESE DRAWINGS ARE PROVIDED BY VIKING LUMBER COMPANY AS A SERVICE TO ITS CUSTOMERS AND ARE PROVIDED FOR INFORMATIONAL AND REFERENCE PURPOSES ONLY. THE INFORMATION PRESENTED IN THESE DRAWINGS IS NOT TO BE USED FOR CONSTRUCTION OR AS A BASIS FOR CONSTRUCTION. VIKING LUMBER COMPANY CANNOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE CUSTOMER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS. VIKING LUMBER COMPANY WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE CUSTOMER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS. VIKING LUMBER COMPANY WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.

SHAWN McDUGALL

E1265



Viking Lumber

622 Main Rd
 Holden ME 04429

PHONE: 207-843-5183 FAX: 207-843-5020
 EMAIL: pfrank@vikinglumber.com

DRAWN BY: PF

SCALE: 1/4" = 1'-0"

DATE: 10/9/2014

PAGE #:

1

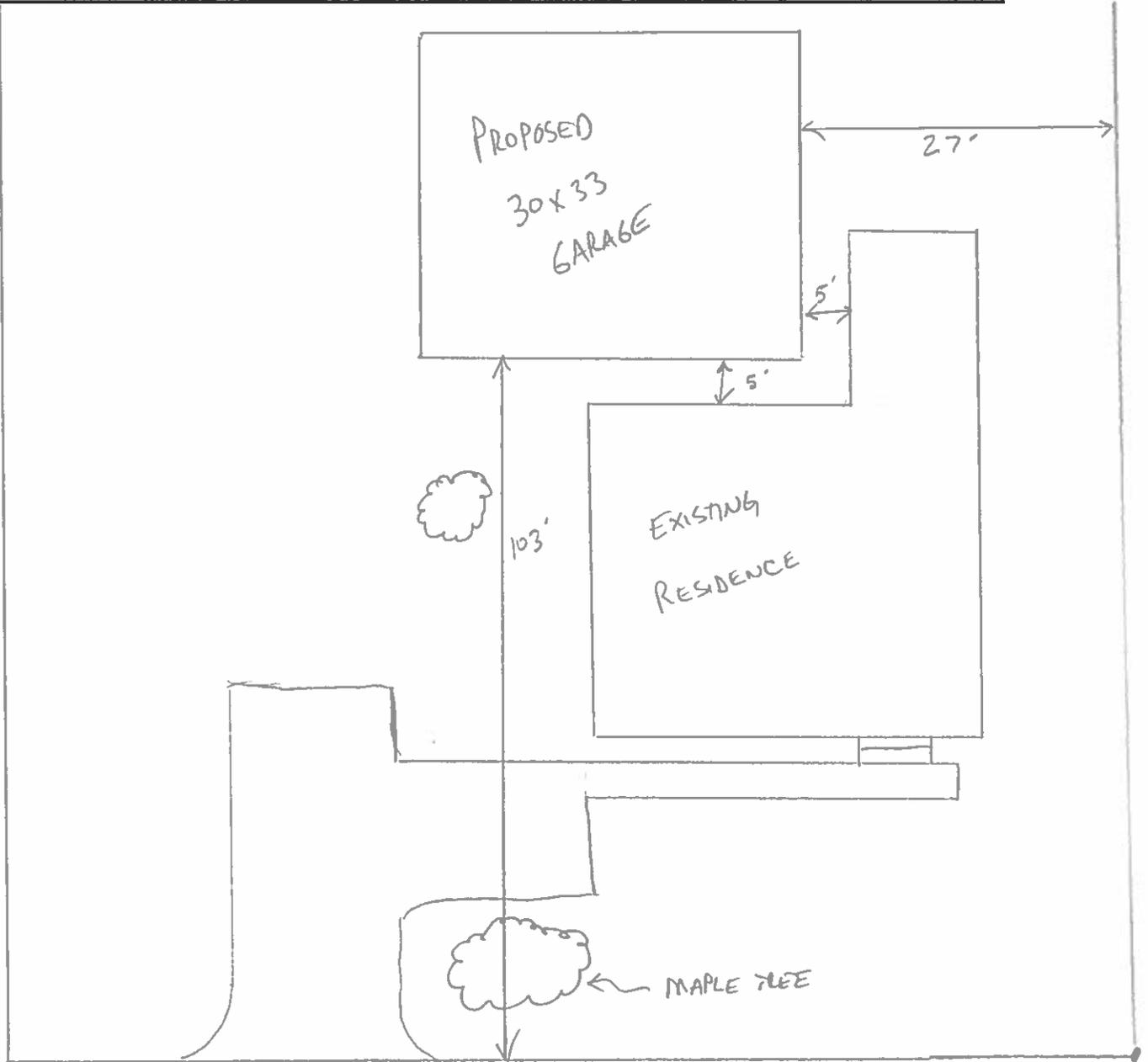
Plot Plan

IF YOUR PROJECT INVOLVES A LOT IN A SUBDIVISION PLEASE ASK FOR COPY OF PLAT PLAN

Plan should be drawn to scale. Please be as detailed as possible. Include all existing and proposed structures, wells, septic areas, driveways, etc. Also include setbacks of structures from each other and property lines.

SEE REVERSE SIDE FOR SAMPLE

***Please Show Erosion and Sedimentation Control Devices, i.e. Silt Fence, Hay Bale Barriers, etc.**



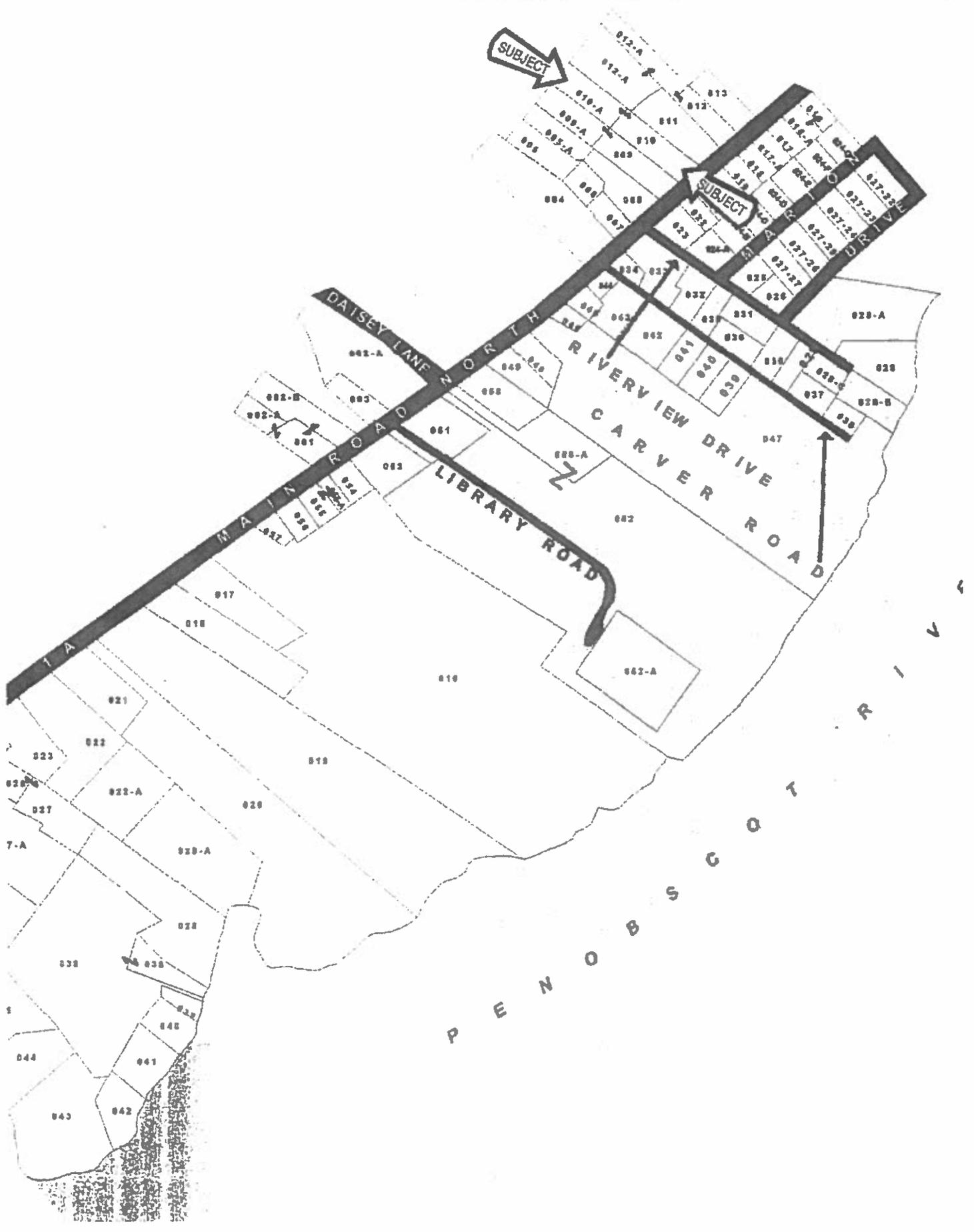
Front (Street Right-of Way) Lot Line

I HEREBY ATTEST THAT THE ABOVE DRAWING AND DIMENSIONS ARE CORRECT TO THE BEST OF MY KNOWLEDGE.

Signature of Applicant SL [Signature] date 11-7-2014

Signature of Owner SL [Signature] date 11-7-2014

11/20/14
P/N





Brickle - 326 Main Road North

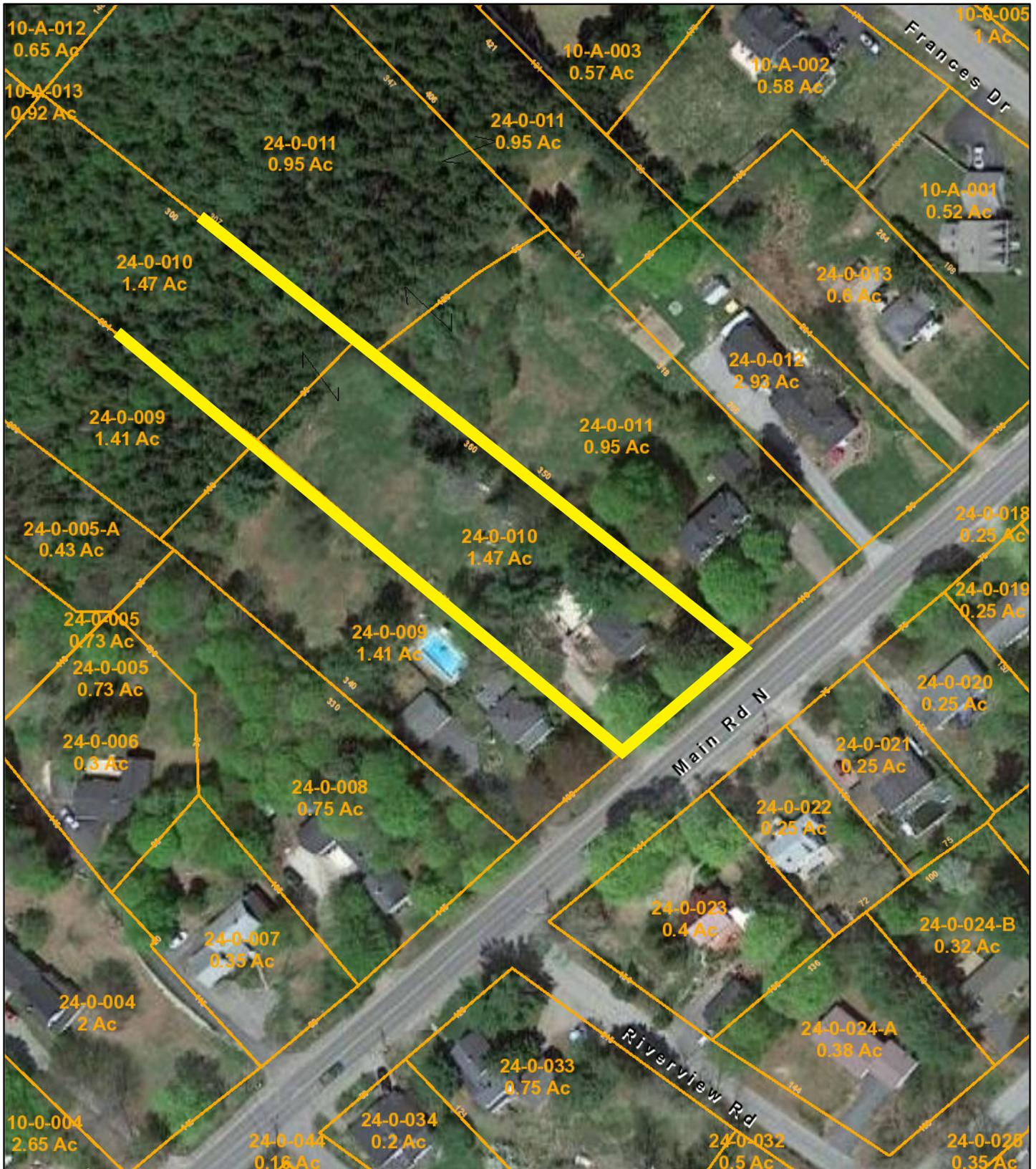
Hampden, ME



August 1, 2017

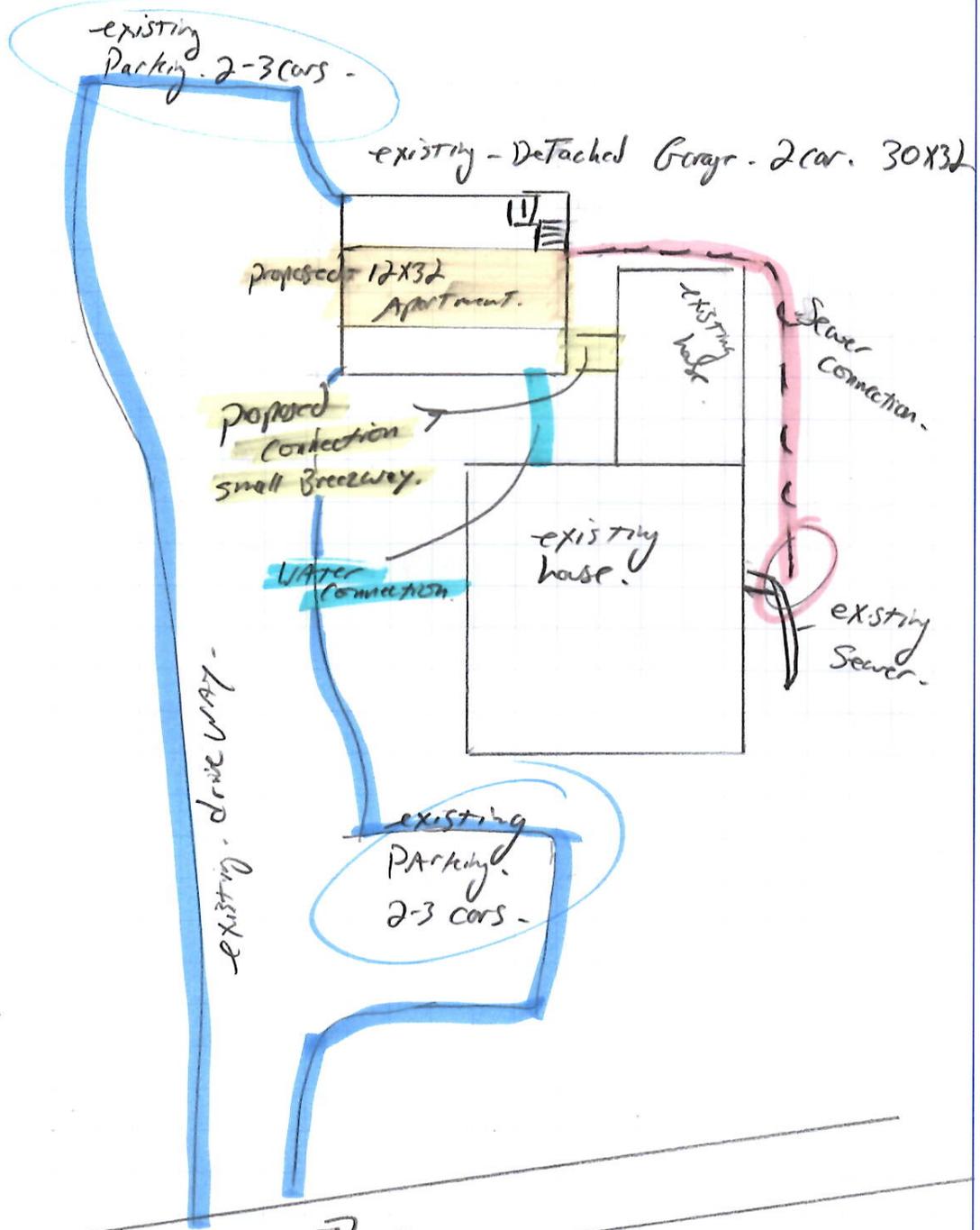
1 inch = 100 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Parking + Utilities layout NOT TO SCALE.



326. Main Rd. North -



Town of Hampden
Land & Building Services

Report on Application
Conditional Use and Site Plan
Sky Villa LLC

To: Planning Board
From: Karen M. Cullen, AICP, Town Planner *KME*
Date: August 1, 2017
RE: Report on Conditional Use and Site Plan Application for ten bed social setting detoxification center (convalescent facility)

Project Information

Applicant: Sky Villa LLC
Site Location: 646 Main Road North
Zoning District: Business
Proposal: Convert a portion of one of the two buildings on the site to a ten bed facility for a social setting detoxification center. This is in addition to the 15 existing dwelling units on the property. To accommodate the needed increase in parking, a retaining wall will be installed along the back of the parking lot to extend the pavement up to roughly 16 feet. Portions of the existing pavement on the site will be removed, resulting in no net increase in impervious surface. The facility is proposed to have six bedrooms with ten beds (two singles and four doubles).

Before getting into the application requirements, a note on the proposed use. From the Hampden Zoning Ordinance, the definition of *Nursing home* is: "A facility which provides nursing care and medical services prescribed by or performed under the general direction of persons licensed to practice medicine. Nursing home shall include both skilled care and intermediate care facilities licensed by the State of Maine. For the purpose of this Ordinance, convalescent home shall mean the same as nursing home." Section 3.4.3 lists "nursing and convalescent homes" as a use allowed by conditional use permit in the Business district.

Also from the Hampden Zoning Ordinance, the definition of *Methadone Clinic* is: "Methadone Clinic is a clinic which has been established for the dispensing of methadone (Dolophine) to those who abuse heroin and other opiates. The focus of these clinics is the elimination or reduction of opiate usage by putting the patient on methadone. (Amended 03-07-11)"

It is the opinion of the Town Planner and the Town Attorney that the proposed use as described in the application materials fits the definition of convalescent home.

I have reviewed this site plan and have determined it to be in compliance with the requirements of Section 4.1, Site Plan Review, and Section 4.2, Conditional Uses, of the Zoning Ordinance. Given the nature of the proposal I did not feel it was necessary or appropriate to require third party review, since there will be no net increase in impervious surface on the site and thus no requirement for stormwater review. The use, as described in the detailed narrative submitted with the application and further described in 14-118 CMR Chapter 5, fits within the definition of nursing or convalescent home in Hampden's Zoning Ordinance.

Under Section 4.1.6, Required Information on Plans, all items have been provided with the exception of items 10, 11, 13, and 14, all of which are not applicable since they deal with items that are not changing for this redevelopment project. Item 12, regarding site lighting, is not complete in that note 12 on the plan indicates the developer may add more lighting. If that is to happen, either the proposed lighting should be shown on the plan or the Planning Board Order should include a condition that any additional lighting should be of residential design and full cut-off fixture. Since there is no net increase in impervious surface, there is no requirement for any changes to the existing stormwater management on-site; runoff currently sheet flows to the street where it drains into two catch basins.

Under Section 4.1.7, standards governing site plan review, all items are either not applicable or have been met. In general, the proposed site layout is an improvement over the existing conditions. The applicant is seeking a waiver under the provisions of §4.7.5 to allow a reduction in parking spaces from 44 to 37. However, they used the requirement for a rooming house which is 1 space per guest room, and they used ten beds to equal ten spaces; if you use the requirement for nursing home (the category this use is allowed under) it is 1 space per three patient beds, which (rounding up) would be four spaces, not ten as the applicant has used. That would reduce the overall total required to 34 spaces, which is more in line with the experience they have had at other properties in the area (see letter submitted by the applicant).

The proposal appears to meet the standards for conditional use approval in §4.2.3 as well.

The application has been reviewed by Public Safety and they had no comments or objections to the proposal. The Public Works Director also reviewed the plans and had some comments which he has discussed with the applicant's engineer. The changes to the entrances to Route 1A require approval of the ME DOT.

Based on the above, I recommend approval of the conditional use and site plan as submitted, with the condition that any new outdoor lighting be of a residential character and full cut-off fixture. A draft Board Order is attached to this report, along with the application.

[Note, the following pages are provided for context with the state rules on substance abuse treatment.]

For reference - Excerpt of 14-118 CMR Chapter 5: Regulations for Licensing and Certifying of Substance Abuse Treatment Programs

- 19.1** Social Setting Detoxification Programs
(Clinical Managed Residential Detoxification, ASAM Level III.2-D).
- 19.1.1** Definition: Social Setting Detoxification Programs provide services to persons who are experiencing withdrawal symptoms that require 24-hour structure and support but don't require full resources of Medically Managed Intensive Detoxification or Freestanding Residential Detoxification, recognizing that the emphasis is more on the counseling program as a treatment agent as opposed to professional intervention and/or medical detoxification. Services must be conducted in a licensed health care or addiction treatment facility.
- 19.1.2** Services provided. Social Setting Detoxification Programs shall provide immediate medical evaluation, diagnosis and care, including:
- 19.1.2.1** Access to immediate medical monitoring on a 24-hour per day basis;
 - 19.1.2.2** Supervision of clients by properly trained staff until the client is no longer intoxicated;
 - 19.1.2.3** Referral to other services not provided by the Social Setting Detoxification Program.
 - 19.1.2.4** A physical examination by a physician or physician's assistant within 48 hours of admission;
 - 19.1.2.5** Written arrangements for hospital care for medical services beyond the capability of the program
 - 19.1.2.6** Nutritional services, including special diets as needed. In addition to the requirements in Sections 17.2.5 – 17.2.5.5 of these regulations, the kitchen shall be capable of providing for preparation of snacks, soup and sandwiches, decaffeinated coffee, and juices which shall be available for clients.
 - 19.1.2.7** Individual and group counseling, or provision of such counseling through other resources;
 - 19.1.2.8** A supportive environment which offers a controlled group living experience;
 - 19.1.2.9** Opportunities for family involvement and referral of family to counseling when appropriate;
 - 19.1.2.10** Motivational counseling to seek further treatment;
 - 19.1.2.11** Planning for and referral to further substance abuse treatment; and
 - 19.1.2.12** Transportation support shall be available 24 hours a day. A written agreement shall provide for transportation between the program and emergency health care facilities;

19.1.3 Staff.

- 19.1.3.1** Social Setting Detoxification Programs shall be staffed by physicians or physician extenders who are available 24-hours a day by telephone.
- 19.1.3.2** A registered nurse or other licensed and credentialed nurse shall be available to conduct a nursing assessment on admission. The level of nursing care must be appropriate to the severity of client need.
- 19.1.3.3** Appropriately trained and certified/credentialed staff shall be available to administer medications in accordance with physician orders.
- 19.1.3.4** Appropriately credentialed alcohol and drug counselors shall provide evaluation and treatment services for clients, and family support as needed.
- 19.1.3.5** An interdisciplinary team of appropriately trained clinicians shall be available to assess and treat the client and to obtain and interpret information regarding the client's needs. The number and disciplines of team members are appropriate to the range and severity of the client's problems.
- 19.1.3.6** Staff involved with clients shall be highly skilled, specially selected, and trained to recognize impending alcohol/other drug emergencies, and have the capability to refer clients evidencing such impending emergencies to an alternative medical emergency back-up facility.
- 19.1.3.7** All personnel providing client care shall have completed, prior to employment, the standard first aid and cardiopulmonary resuscitation (CPR) certification, or its equivalents, and shall complete, within six months of their employment, the advanced first aid class or its equivalent.
- 19.1.3.8** Clinical supervision shall be provided to all staff on a weekly basis.

19.1.4 Medication.

- 19.1.4.1** Nothing in this section shall be construed as authorizing or permitting any person to do any act outside of federal or state laws.
- 19.1.4.2** No medication should be taken without medical direction. If the client brings drugs into the program for previously existing disorders:
 - 19.1.4.2.1** The actual medication must be identified by a physician or a pharmacist, and
 - 19.1.4.2.2** A physician must approve the prescribed dose, and

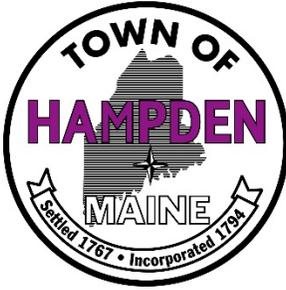
19.1.5.3.4 A record of discharge/transfer planning, beginning at admission.

19.1.6 Program Completion Criteria.

19.1.6.1 Programs shall describe in detail the indicators used to determine satisfactory completion of the detoxification process.

19.1.6.2 Programs shall describe conditions under which clients will be discharged before successful program completion.

Note: Methadone Clinic is under 19.1, Medically Managed Intensive Inpatient Detoxification Programs (ASAM Level IV.D).



Town of Hampden
Land & Building Services

Planning Board Order
Sky Villa LLC

Approval Date: August 9, 2017

Project Name: Sky Villa LLC

Location of Project: 646 Main Road North

Assessor's Reference: 28-0-009 & 28-0-010

Deed Reference: B14272/P249

Zoning District: Business

Total Acreage: 1.13 acres

Type of Use: 10 Bed Social Setting Detoxification Center (Convalescent home); and 15 existing apartment dwelling units

Building Area: 6,502 sq. ft. living area in the existing building proposed for convalescent facility (including 10 existing apartments and 3,172 sq. ft. proposed in the convalescent facility. 1,680 sq. ft in second building (5 apartments).

Applicant: Sky Villa LLC
PO Box 24
Brewer, ME 04412

Owner: Same as Applicant

Plans Prepared by: Down to Earth Professional Land Services, Inc.

Plans Dated: May 31, 2017

Application Date: June 1, 2017

Public Hearing: August 9, 2017

*PB Members:*¹ Michael Avery, James Davitt, Tom Dorrity, Morton Syversen, Peter Weatherbee, Eugene Weldon, and Kelley Wiltbank

PB Action: Approved with conditions. This Conditional Use and Site Plan is approved under Sections 4.1 and 4.2 of the Hampden Zoning Ordinance.

¹ Planning Board Members who were appointed to vote on this case.

DRAFT

Summary Description of Application: Convert a portion of one of the two buildings on the site to a ten bed facility for a social setting detoxification center (see 14-118 CMR Chapter 5; use categorized as convalescent home in Hampden Zoning Ordinance). This is in addition to the 15 existing dwelling units on the property; 10 in the building with the proposed convalescent facility and 5 in a separate building. To accommodate the needed increase in parking, a retaining wall will be built along the back of the parking lot to extend the pavement. Portions of the existing pavement on the site will be removed, resulting in no net increase in impervious surface. The parking lot will be lined and appropriate signage installed to create a safe and efficient parking lot – currently there are no lined spaces or drive aisles.

Findings: After the public hearing duly noticed and held, the Hampden Planning Board made the following findings as required by Sections 4.1.7 and 4.2.3 of the Hampden, ME Zoning Ordinance:

1. The proposed project meets the provisions of all applicable regulations and ordinances of the Town of Hampden and meets the intent of the comprehensive plan.
2. The proposed project is consistent with generally acceptable design practices and is properly integrated with the terrain and existing buildings in the vicinity, given that there are no new buildings or additions and the parking lot will be improved over existing conditions.
3. The proposed project provides for safe ingress and egress for vehicles and pedestrians, given that the proposed modifications to the parking lot will improve existing conditions.
4. The proposed project provides for safe on-site circulation for vehicles and pedestrians, given that the proposed modifications to the parking lot will improve existing conditions.
5. The proposed signage and exterior lighting for the proposed project comply with the applicable regulations of the Zoning Ordinance and do not present a hazard due to location, glare, or other conditions that negatively impact abutting property or the travelling public, provided any additional lighting is of residential character and fixtures are full cut-off design.
6. The proposed buildings are properly integrated with the existing topography and natural features of the site; not applicable since the buildings already exist.
7. The proposed project minimizes earthmoving, erosion, tree clearance, vegetation disturbance, and the destruction of natural amenities, given that there are no

new buildings or additions and the modifications to the parking lot are relatively minor.

8. The slopes in the proposed project are vegetated or otherwise protected from erosion and are blended with surrounding terrain.
9. The proposed project provides adequate stormwater management to prevent adverse impacts on neighboring properties, downstream water quality, or any public or private stormwater drainage system, and to prevent soil erosion, given that there will be no net increase in impervious surfaces and drainage patterns will not be altered.
10. The proposed project will not have a negative impact on existing scenic or natural beauty, rare or irreplaceable historic sites, or other features of importance to the community.
11. The proposed project will not create an undue burden on utilities (e.g. sanitary sewer, stormwater drainage system, water lines), nor on municipal services (e.g. public safety, schools, open spaces, recreational facilities or programs, roads, solid waste disposal).
12. The proposed project is designed to ensure adequate setbacks and screening for all exposed storage areas, machinery installations, service areas, truck loading areas, utility buildings, and any accessory areas and structures to provide audio/visual buffers that will minimize adverse impacts on surrounding properties, given that the solid waste (dumpster) will be located in an area where it will be screened by the existing building.
13. The proposed project will not have any unreasonable adverse impact on surface water quality, ground water quality, ground water quantity, soil quality, or air quality, given there will be only minor changes to the site.
14. The proposed use will not cause nuisances due to odor, electromagnetic interference, or fire safety.
15. The proposed use provides for adequate handling of all wastes generated on site.
16. The proposed use should not devalue properties in the vicinity.
17. The proposed use will not cause unreasonable noise, odors, dust, gas, fumes, smoke, light, or other annoying or dangerous emissions.
18. The proposed use will not create hazardous traffic conditions, given the small size of the proposed facility.

19. The proposed use will not deny light or air to surrounding properties, given that it is a redevelopment of a portion of an existing building.
20. The proposed use will not have an adverse impact on the environment or wildlife habitat, given that it is a redevelopment of a portion of an existing building.

Based on these findings, the Hampden Planning Board voted _____ to _____ the Conditional Use and Site Plan for Sky Villa LLC to renovate a portion of the existing building at 646 Main Road North and to establish a 10 bed social setting detoxification center (convalescent facility) as previously described.

Conditions:

1. That any new outdoor lighting to be added to the site shall be of a residential character and shall be full cut-off fixtures.

[Continued next page]

For the Hampden Planning Board:

Eugene Weldon, Chairman

Date

Michael Avery

James Davitt

Tom Dorrity

Morton Syversen

Peter Weatherbee

Kelley Wiltbank

Notes:

1. *A copy of this decision is on file with the Land & Building Services Office at the Town Offices, 106 Western Avenue, Hampden, ME 04444.*
2. *This decision is subject to appeal in accordance with Article 6 of the Hampden Zoning Ordinance within 30 days after the date this decision is made by the Planning Board.*



DOWN to EARTH
PROFESSIONAL LAND SERVICES, INC.,
P.O. BOX 443
BRADLEY, MAINE 04411-0443
TEL. 207-827-6733

June 1, 2017

Karen Cullen, Town Planner
Town of Hampden
106 Western Avenue
Hampden, ME 04444

Subject: Site Plan Review Application
Skyvilla, LLC – 640 & 646 Main Road North
Hampden, Maine

Dear Ms. Cullen:

On behalf of the applicant, David St.Germain of Skyvilla, LLC, we hereby submit for the Hampden Planning Board review and approval, for the next scheduled Planning Board meeting, the attached Civil-Site plan set and accompanying data for the proposed rooming facility in conjunction with the existing residential apartment units.

In summary, the proposed project consists of a new 10-bedroom facility contained in an existing structure on 646 Main Road North in addition to the existing 15 residential apartment units that currently exist on 640 and 646 Main Road North. There are no proposed building footprint expansions associated with the proposed project. Parking will be modified to maximize available parking stalls, accomplished by removing (re-vegetating) and adding pavement surface to result in no net increase in impervious area. There are no significant alterations proposed for utility infrastructure. Locations of curb openings on to Main Street North remain the same upon development.

It was determined that a stormwater analysis was not necessary as there is not net increases in impervious areas and no alterations to existing grades.

If you have any questions regarding the contents herein or require additional information, please feel free to call.

Sincerely,

Oscar F. Emerson, PE, PLS, LSE

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JUN 01 2017
Planning & Zoning
Office
PB File Copy



SITE PLAN - PERMITTED/CONDITIONAL USE APPLICATION

Please note that this application must be submitted with plans in conformance with Section 4.1 and 4.2 of the Hampden Zoning Ordinance. *Incomplete applications will not be processed. All fees must be paid for application to be processed. Proper number of copies of application must be submitted in order to be processed.* All town ordinances are available at www.hampdenmaine.gov for review.

Date: 6/1/17

APPLICANT:

Name: David St. Germain, Sky Villa, LLC

Address: Po Box 24, Brewer, ME 04412

Phone: 207-272-4413 Cell: _____ Email: dauidse@skyvillallc.com

AGENT:

Name of agent or representative: Oscar Emerson, Down to Earth Professional Land Serv. Inc.

Address: Po Box 443 Bradley, ME 04411

Phone: 207 827 6733 Cell: _____ Email: oemerson@downtoearthpls.com

THE SITE:

Location of site: 640 & 646 Main Rd No. Hampden tax map and lot number: map 28, LOTS 9 & 10

Zoning district: Business Existing use of property: Residential / Commercial

Legal interest in the parcel: owner

Owner of parcel if other than applicant: _____

Owner's address: same as applicant.

PROPOSED PROJECT:

Conditional Use Permit for "nursing + convalescent homes" and major site plan review.

Proposed use of property: Existing Residential units (15), proposed Boarding Facility
(Please include floor area per use, seating if applicable, and land area). *(see attached floor plan.)*

Proposed starting date: summer 2017 Final completion date: winter 2017

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(APPLICATION CONTINUES ON REVERSE SIDE.)

Will your project result in more than one acre of disturbed land area? Yes No.

If yes, you are required to obtain either a Construction General Permit or Stormwater Permit by Rule from the Maine Department of Environmental Protection. If you are in the Urbanized Area of Town and discharge stormwater to the Municipal Separate Storm Sewer System (MS4) a Post-construction Stormwater Management Application shall be submitted to the Town pursuant to the Town of Hampden Post-construction Stormwater Management Ordinance.

FEES: Application fee is: \$75.00 for structures under 3,000 sq. ft. and total site improvements under 5,000 sq. ft.; \$150.00 for structures between 3,000 and 20,000 sq. ft. and total site improvements under 50,000 sq. ft.; and \$500.00 for structures in excess of 20,000 sq. ft. and more than 50,000 sq. ft. of site improvements.

Application fee amount: \$ 150

Draw account contribution: The Town of Hampden requires applicants to provide \$600.00 for the Town to hire an engineer to review their plans and, if necessary, \$1,000.00 for an engineer to review their traffic analysis. **Draw account contribution is:** \$ 600 - (Any unspent portion of the draw account will be returned to applicant, however, if additional funds are required, applicant agrees to cover all costs that the Town of Hampden may incur. Complete and accurate submissions require less time to review.)

CERTIFICATION: By signing this form I certify that the information provided on these plans, text, and associated testimony is true and correct. I certify that all site improvements will be constructed in strict conformance with Planning Board approved plans. Furthermore, I acknowledge that if the constructed site improvements are not built in accordance with the zoning ordinance and Planning Board approved plans that I am obliged to take corrective action that may include obtaining a revised Planning Board approval or the removal of non-conforming uses and structures and site improvements. (Agents that lack authority to certify said items should not sign this form.)

Signature:  (agent) Date: 6/1/17

OFFICE USE ONLY

Date received: 6/1/17 Date complete: _____

Fees paid: Amount/Date: 15000 6/1/17 Draw paid: Amount/Date:

Conditional Use determination: _____

Planning Board action: _____ Date: _____

Conditions: _____

PB File Copy



OK 14272 P9247 #27321
09-09-2016 @ 04:05p

WARRANTY DEED

KENNETH WENTWORTH, of Brewer, Penobscot County, Maine and having a mailing address of 17 Boulevard of Dreams, Brewer, ME 04412, for consideration paid, with Warranty Covenants, grants to **SKY VILLA, LLC**, a Maine limited liability company, having a place of business in Brewer, Penobscot County, Maine and having a mailing address of P.O. Box 24, Brewer, Maine 04412, with **WARRANTY COVENANTS**, certain real estate in the Town of Hampden, County of Penobscot, State of Maine, bounded and described as follows:



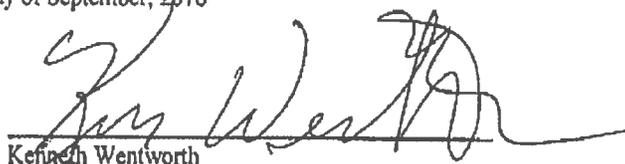
Page 2

SEE ATTACHED EXHIBIT A

Witness my hand and seal this 9th day of September, 2016



Witness



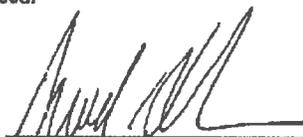
Kenneth Wentworth

STATE OF MAINE
Penobscot

September 9, 2016

Personally appeared the above-named Kenneth Wentworth and acknowledged the foregoing instrument to be his free act and deed.

Before me,



Richard Silver, Attorney at Law



Page 1



Page 2

EXHIBIT A

**PARCEL ONE
640 Main Road**

A certain lot or parcel of land, together with the buildings thereon, situate in Hampden, County of Penobscot, State of Maine, on the generally westerly or northwesterly side of the new County Road, sometimes called the River Road, leading from Bangor through Hampden to Winterport, bounded and described as follows, to wit:

Beginning on the generally westerly or northwesterly side line of said new County Road at the generally southerly corner of a lot of land conveyed by the deed of Edward Perry to George A. Starkey, dated June 29, 1912, and recorded in the Penobscot Registry of Deeds, Vol. 840, Page 292, thence in a generally southwesterly direction on and by said line of said County Road, five rods to a stake driven into the ground, thence in a generally northwesterly direction and parallel to the side line of said Starkey land, twelve rods to a stake driven into the ground; thence in a generally northeasterly direction, five rods to the generally westerly corner of said Starkey land; thence in a generally southeasterly direction on and by the southwesterly side line of said Starkey land, twelve rods to the point begun at, said strip of land being five rods in width on the road and twelve rods in length extending back from the road.

For grantor's source of title, reference may be had to a deed from Sharon A. Shelley to Kenneth Wentworth, dated December 2, 1988, recorded in the Penobscot County Registry of Deeds at Volume 4358, Page 365.

**PARCEL TWO
646 Main Road**

A certain lot or parcel of land, with the buildings thereon, situate in said Hampden on the generally westerly or northwesterly side of the County Road, so-called, leading from Bangor to Hampden and bounded and described as follows:

Beginning in said westerly line of said Road at a stake in the southeasterly corner of land now or formerly of Charles E. Perry; thence in a generally southerly direction in the line of said Road ten (10) rods to a stake in the northeasterly corner of land now or formerly owned or occupied by Henry and Germaine Dinsmore; thence in a generally westerly direction and at right angles with said line of said Road, twelve (12) rods to a point; thence in a generally northerly direction, parallel with the side line of said Road, ten (10) rods to a point; thence in a generally easterly direction to the point of beginning; containing one hundred twenty square rods, more or less.

For grantor's source of title, reference may be had to a deed from Dewey E. Metcalf and Marion F. Metcalf to Richard J. O'Brian (said Richard J. O'Brian now being known as Kenneth Wentworth), dated September 19, 1977, recorded in the Penobscot County Registry of Deeds at Volume 2798, Page 38.

Maine Real Estate
Transfer Tax Paid

Susan F. Bulay, Register
Penobscot County, Maine

Sky Villa LLC
P.O. Box 24
Brewer, Maine 04412
207-947-3100

Date ; 6/1/2017

To
RE: Parking

We own several properties in Bangor, Brewer and Hampden.

18 1st street in Bangor is a rooming house with 16 rooms
We have had 1 vehicle there in 4 years.
All tenants rely on the public bus system.

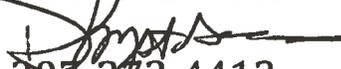
205-207 N Main Street in Brewer we have a 12 unit apartment building.
We have no more than 5 vehicles there at one time in the last five years.

640-646 Main Rd North we have 15 apartments at this location (2 buildings).
Since I took ownership last year, we have not had more than 10 vehicles at any given time.

Thank you for your consideration.

SKY VILLA LLC
P.O. Box 24
Brewer , Maine 04412
Tax I.D. 45-4018819

David St Germain


207-272-4413
207-947-3100

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In 2015, the Bangor area community participated in a planning process to address the substance abuse needs of local residents and their families. The highest priority identified was the need for a detox center; this priority had the overwhelming support of local hospitals, police, first responders, and the families of those needing services. Wellspring, a licensed substance abuse and mental health agency, located in Bangor, Maine, has provided residential substance abuse treatment services for nearly 50 years. It was recently awarded a contract from the Department of Health and Human Services, Substance Abuse and Mental Health Services (SAMHS) for a 10-bed Social Setting Detoxification Center. The proposed site is owned by David St. Germaine and is located at 646 Main Road North in Hampden. The site must meet all licensing regulations and has already received preliminary approval from the State Fire Marshall.

Clients served by the detox center required supervised support for detoxification from acute substance use disorders. While their needs do not required direct medical supervision, all persons referred will be medical cleared by local hospital emergency departments prior to admission. In addition, Wellspring has a contract with Penobscot Community Health Care to provide 24-hour medical consultation as well as on-site medical rounds three days per week.

The facility is designed to house 10 individuals and fully meets ADA standards. Both men and women will be able to be housed at the facility, but are under 24-hour supervision. The average length of stay is projected to be five days, with a 7-day maximum. While they are in residence, clients will have their initial withdrawal symptoms monitored to ensure client safety. As they stabilize, clients will participate in individual and group counseling with a focus on connecting them to treatment and recovery support services upon discharge.

The program will be staffed 24 hours per day, with two staff on at all times. At peak staffing time, there will be up to five regular staff on site. Currently, the proposed staffing is for the maximum number of staff, both direct and administrative, to be on site from Monday through Friday. This may change slightly due to program needs as the program is implemented, but at no time would there be more than five staff on duty at one time. All other parking needs would be incidental, including possible vehicles owned by clients.

Wellspring anticipates it will begin offering services in the late summer or early fall of 2017.

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Office**



STATE OF MAINE - DEPARTMENT OF PUBLIC SAFETY
OFFICE OF STATE FIRE MARSHAL
45 COMMERCE DR STE 1
AUGUSTA, ME 04333-0001

Construction Permit

No. 24584

In accordance with the provisions of M.R.S.A. Title 25, Chapter 317, Sec. 317 and Title 5, Section 4594-F, permission is hereby granted to construct or alter the following referenced building according to the plans hitherto filed with the Commissioner and now approved. No departure from application form/plans shall be made without prior approval in writing. Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions.

Each permit issued shall be displayed at the site of construction.

Building: 646 MAIN ROAD NORTH - BUILDING RENOVATION
Location: 646 MAIN RD N, HAMPDEN, ME 04444-1802
Owner: COMMERCIAL CONSTRUCTORS, INC.
Owner Address: PO BOX 24, BREWER, ME 04412-0024

Occupancy Type: Apartments
Secondary Use:
Use Layout: Separated Use
Sprinkler System
Fire Alarm System
Barrier Free
Construction Mode: Renovation
Unprotected Wood Frame: Type V (000)
Final Number of Stories: 2

Permit Date: 05/10/2017

Expiration Date: 11/09/2017

Notes and additional requirements:

Provide Self-Closing Devices on Doors 202 & 204

John E. Moran

COMMISSIONER OF PUBLIC SAFETY

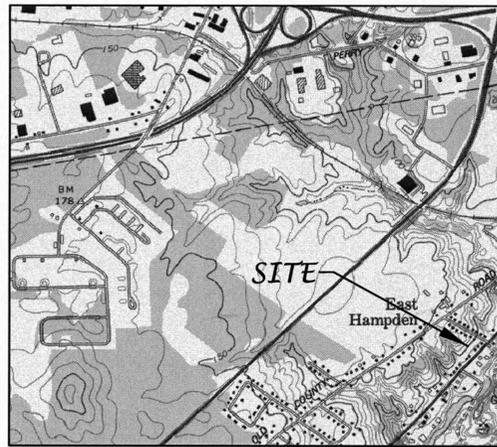
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JUN 6 2017

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Office**

Copy 2 - Architect



VICINITY MAP
N.T.S.

PRELIMINARY

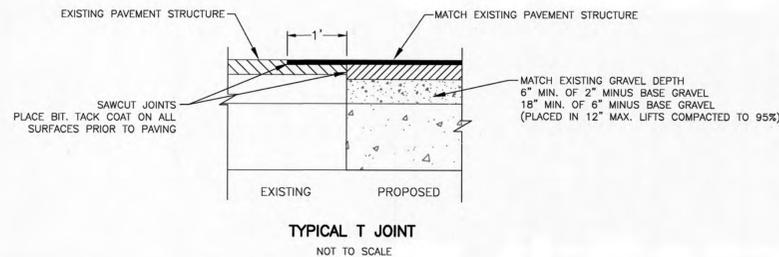
FOR APPROVAL
PURPOSES ONLY

EROSION CONTROL NOTES

- ALL DISTURBED AREA NOT PAVED OR LANDSCAPED SHALL BE LOAMED, SEEDED AND MULCHED OR HYDROSEEDED WITH FIELD MIX.
- ALL WINTER CONSTRUCTION SHALL CONFORM TO CURRENT MDEP BEST MANAGEMENT PRACTICES.
- CONSTRUCTION SEQUENCE:
 - INSTALL SILT-SACK IN ALL CATCH BASINS SHOWN ON THIS PLAN PRIOR TO ANY EARTH DISTURBANCE.
 - ROUGH GRADE DEVELOPED AREAS.
 - MAINTAIN SILT CONTROL AT ALL TIMES DURING CONSTRUCTION.
 - FINISH GRADE DEVELOPED AREAS.
 - CONDUCT PAVING ACTIVITIES.
 - LOAM, SEED AND MULCH ALL REMAINING DISTURBED AREAS.
 - UPON COMPLETE ESTABLISHMENT OF VEGETATION AND STABILIZATION OF SITE, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
 - CONSTRUCTION START DATE: SUMMER 2017; PROJECT COMPLETION: WINTER 2017.

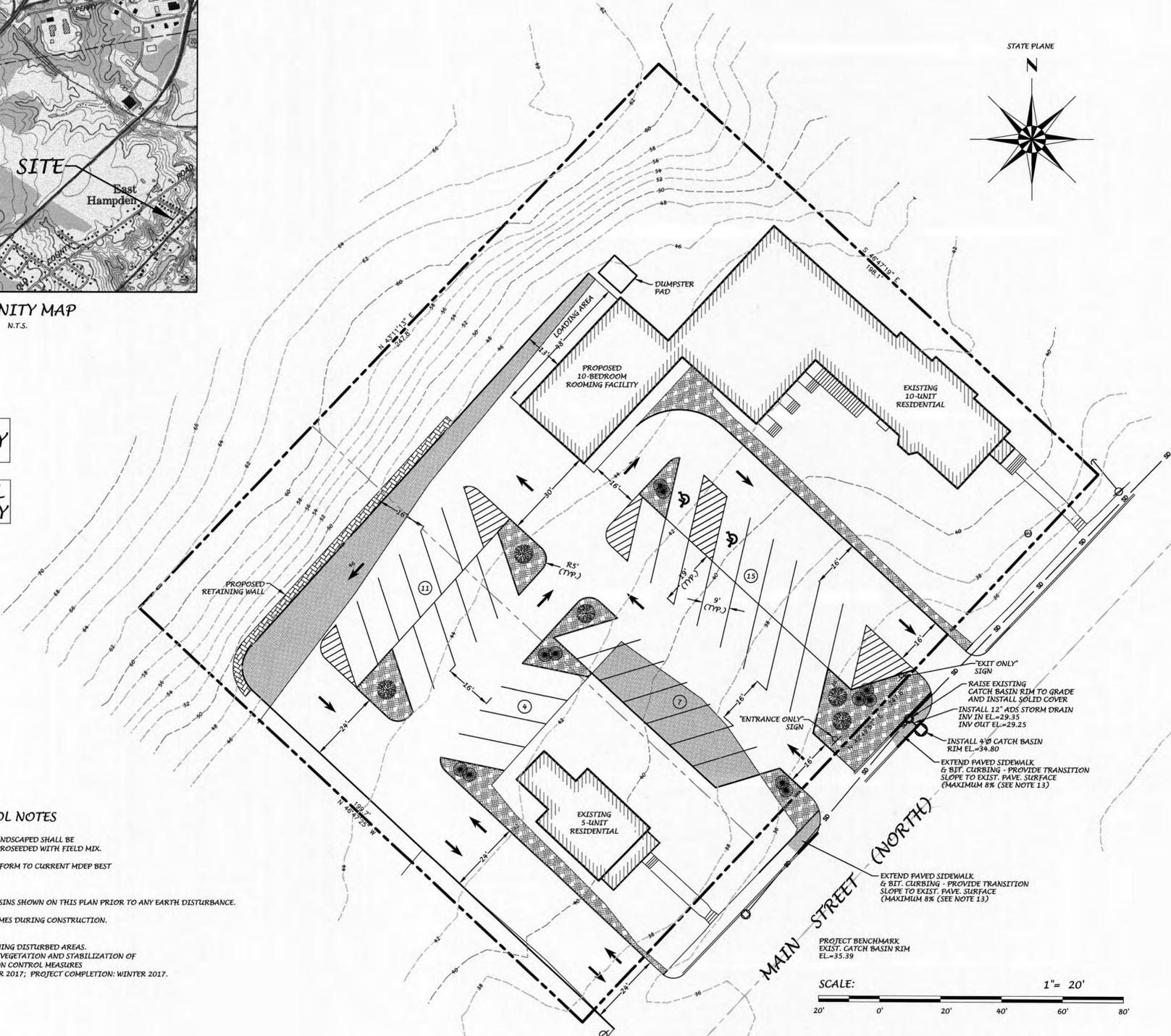
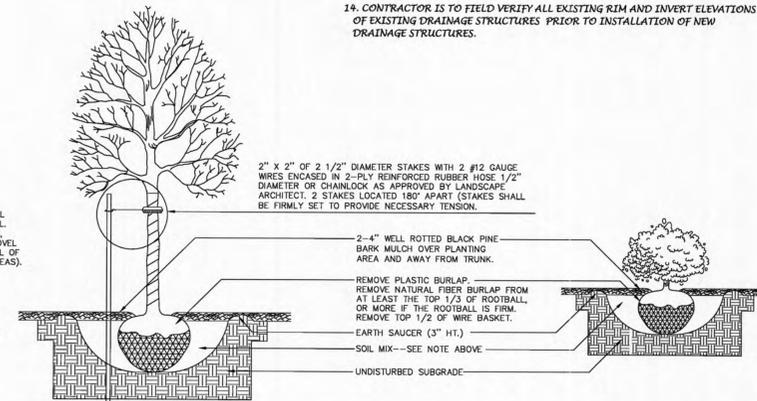
LEGEND

- PROPERTY LINE
- EDGE OF PAVEMENT (EXISTING)
- EDGE OF PAVEMENT (PROPOSED)
- CURB (EXISTING)
- ELEVATION CONTOUR
- UTILITY POLE
- CATCHBASIN
- PROPOSED SHRUBBERY
- PROPOSED SHADE TREE
- PROPOSED PAVEMENT
- RE-VEGETATED AREA



*NOTES:

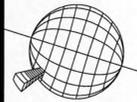
- DIG HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL (NO DEEPER). SET ROOT BALL CENTERED, WITH TOP AT GROUND LEVEL OR SLIGHTLY HIGHER. CORRECT HOLE DEPTH AS NEEDED.
- FOR DECIDUOUS AND NEEDLED EVERGREEN TREES AND SHRUBS: 1 FULL WHEELBARROW EXISTING SOIL, 2 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL FOR BROADLEAVED EVERGREENS AND RELATED ERICACEAE PLANTS, 1 FULL WHEELBARROW EXISTING SOIL, 3-4 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL OF LOW pH (RECOMMENDATIONS ARE FOR ACCEPTABLE PLANTING AREAS).
- CONTAINER GROWN STOCK: REMOVE CONTAINER PROTECTING ROOT BALL GENTLY COMB OUT ROOTS, PRUNE DAMAGED ROOTS.
- BACKFILL 2/3 OF HOLE WITH AMENDED SOIL, THEN FILL HOLE WITH WATER, LET DRAIN, REPEAT WATER AND DRAIN, BACK FILL TO FINISH GRADE, TAMP GENTLY, AND CREATE EARTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.



NOTES

- OWNER OF RECORD: SKY VILLA, LLC, PO BOX 24, BREWER, ME 04412 BK. 14272 PG. 249, PENOBSCOT COUNTY REGISTRY OF DEEDS.
- APPLICANT: SKY VILLA, LLC, PO BOX 24, BREWER, MAINE, 04412
- SUBJECT PARCELS DEPICTED AS LOTS 9 & 10 ON THE TOWN OF HAMPDEN TAX ASSESSOR MAP 28.
- ZONING: BUSINESS
- SITE ACREAGE: 1.13 ACRES
- VERTICAL DATUM: NAVD88
- AS PER PUBLISHED FEMA FLOOD INSURANCE MAPS, THE SUBJECT SITE IS NOT WITHIN A FLOOD PRONE AREA.
- PARKING REQUIRED:
 - APARTMENTS (2 BDRM): 2 SPACES PER UNIT (1 X 2=30)
 - ROOMING FACILITY: 1 SPACE PER BEDROOM (10 X 1=10)
 - EMPLOYEES: 0.75 SPACE PER EMPLOYEE (5 X 0.75=3.75)
 - TOTAL PARKING STALLS = 44
- PARKING PROVIDED:
 - APARTMENTS (2 BDRM): 2 SPACES PER UNIT (1 X 2=2)
 - APARTMENTS (1 BDRM): 1.5 SPACES PER UNIT (14 X 1.5=21)
 - ROOMING FACILITY: 1 SPACE PER BEDROOM (10 X 1=10)
 - EMPLOYEES: 0.75 SPACE PER EMPLOYEE (5 X 0.75=3.75)
 - TOTAL PARKING STALLS = 37 (VARIANCE REQUIRED)
- NO NET INCREASE OF IMPERVIOUS AREA UPON DEVELOPMENT.
- PROPOSED RETAINING WALL DESIGN TO BE PROVIDED BY DEVELOPER.
- EXISTING SITE LIGHTING TO BE UTILIZED. ADDITIONAL LIGHTING TO BE PROVIDED BY THE DEVELOPER.
- EXISTING PAVED SIDEWALKS AND CURBS TO BE EXTENDED SHALL BE SAW-CUT AND REPAVED AT A IN-KIND THICKNESS WITH T-JOINT SEAM.
- CONTRACTOR IS TO FIELD VERIFY ALL EXISTING RIM AND INVERT ELEVATIONS OF EXISTING DRAINAGE STRUCTURES PRIOR TO INSTALLATION OF NEW DRAINAGE STRUCTURES.

DOWN to EARTH
PROFESSIONAL LAND SERVICES INC.
P.O. BOX 443
BRADLEY, MAINE 04411-0443
TEL: 207-827-6733



| NO. | REVISION DESCRIPTION | BY | DATE |
|-----|-------------------------------------|-----|---------|
| 1 | ADD SIDWALK EXTENSION & CATCH BASIN | OPF | 7/21/17 |

DRAWING TITLE
SITE PLAN
OWNER OF RECORD
SKY VILLA, LLC
640 & 646 MAIN ROAD NO., HAMPDEN, MAINE
PENOBSCOT COUNTY

DRAWN BY
OPF
CHECKED BY
OPF
SCALE
1"=20'
DATE
05/31/17
JOB NUMBER
17020

DRAWING NUMBER
C-1

Revised site plan submitted August 2, 2017