

Planning and Development Committee
August 6, 2014
6:00 PM
Conference Room
AGENDA

1. Approval of July 16, 2014 Minutes:
2. Committee Applications:
3. Updates:
4. Old Business:
 - A. Sargent Corp – Chip Laite
Mitigation/Covenants
 - B. Private Ways Ordinance Draft
 - C. Chief Rogers/Fireworks Update - Confirmed
5. New Business:
 - A. Turtle Head Park Implementation Plan
 - B.
 - C.
6. Comprehensive Plan Implementation:
7. Citizens Initiatives:
8. Public Comments:
9. Committee Member Comments:
10. Adjourn

Planning and Development Committee
July 16, 2014
6:00 PM
Conference Room
DRAFT MINUTES

Attendees:

Committee

Ivan McPike
Bill Shakespeare
Tom Brann
David Ryder
Jean Lawlis
Carol Duprey

Staff

Bob Osborne, Staff
Dean Bennett, Staff

1. Approval of June 18, 2014 Minutes: Approved

2. Committee Applications – None

3. Updates:

A, Triangle Natural Gas

The Community and Economic Development Director (CEDD) reported to the Committee he had received a “ballpark” estimate on the costs associated with establishing natural gas throughout both business parks and out to and down the Coldbrook Road. The estimate for installation of the infrastructure is between \$ 850,000 and \$ 1,000,000 dollars. The next step would be to conduct an engineering study to determine more specific costs and locations for the infrastructure. CEDD asked if the Committee was in support of continued discussions among property owners with regard to funding of an engineering study. The Committee acknowledged the importance of being “out front” of infrastructure needs rather than risk development loss while waiting for said infrastructure. CEDD will move forward on collaboration with property owners.

4. Old Business

A. Private Ways

Town Planner presented Private Way Ordinances and standards that have been adopted by other communities. Points were made as to the need for standards so as to minimize any negative impacts from private

roads onto public roads; the need for homeowners associations; emergency vehicles; and maintenance. Town Planner to present draft Ordinance which considers Committee input and established practices of private roads.

B. Open Space Exemption (Cluster Subdivision)

Recently the Committee recommended to the Town Council the removal of the open space requirements for minor subdivisions in the rural district. Town Planner proposed language that seeks to accomplish the same for Cluster Subdivisions.

Committee Action: Motion and Seconded to send the Cluster Subdivision changes, as drafted, to the Town Council for forwarding to the Planning Board for their review. (Vote: 6-0)

5. New Business:

A. Marsha Garland-Main Road North – Fireworks

Marsha Garland, of Main Road North, spoke to the Committee about her concerns for the use of fireworks in close proximity to her dwelling. She explained that the area in which she lives is a higher density residential area. She indicated that the noise is sometimes beyond the statutory deadline of 10 pm and is disturbing to her animals. She also spoke of her concern with the potential for fire due to the proximity of the houses to each other.

The Committee suggested that she call law enforcement if the activity is beyond the legal timeframes. The Committee further asked CEDD to invite Joe Rogers, Public Safety Director, to the next Planning and Development Committee Meeting to report on any issues or repeated violations since the adoption of the town's Fireworks Ordinance.

B. Turtle Head Park Implementation Plan

CEDD encouraged the Committee members to tour the new Turtle Head Park, as it was over 7 years in the making, and the required parking lot has been completed. Now that the parking lot and walking trails have been completed, they represent only a portion of the larger park concept plan. A canoe/kayak launch dock, lighting, signage, and rest room facilities have also been contemplated. In addition, picnic tables will be in demand as the park is discovered by the local and regional citizenry. CEDD suggested the development of an implementation plan, timeframe and cost estimates so as to keep the project moving forward toward its overall completed status. Committee concurred and asked that the CEDD work on such a plan to present at a future meeting.

C. Land Offering (Karen Burrell/Wyllys Terry)

CEDD distributed an email forwarded to him by Manager Lessard in which Karen Burrell and Wyllys Terry expressed their interest in selling approximately 145 acres of property to the Town of Hampden for the purposes of recreation, nature trails and open space etc.. After discussing the offering, the Committee wished to extend appreciation for the offering but at this time declined to act in any capacity on the offering.

D. Skehan Center Lease Extension – Lafayette Inquiry

Danny Lafayette inquired of Manager Lessard whether the Town Council would like to annually extend the 5 year lease as described in the current agreement. The Committee, having not seen recent figures on the use cost of the facility opted to send the matter to the Services Committee for discussion once more current financial information was available.

6. Comprehensive Plan Implementation: No Action Taken

7. Citizens Initiatives: - None

8. Public Comments - None

9. Committee Member Comments: None

10. Adjourn: The meeting was adjourned at 7:12 pm.

SARGENT

C O R P O R A T I O N

Excellence for Generations

July 30, 2014

Robert Osborne
Town Planner
Town of Hampden
106 Western Avenue
Hampden Maine 04444

Dear Bob,

Sargent Corporation would like to amend the Master Plan and Subdivision Plan for the Hampden Business and Commerce Park.

In response to a Request for Proposal for Final Development, we submitted our proposal to the Hampden Town Council. This proposal was accepted and on April 24, 2014 Sargent Corporation and its real estate holding company entered into a Development Agreement with the Town of Hampden to complete the development of the Hampden Business & Commerce Park. As part of that agreement we supplied the Town with a list of all desired amendments to existing approvals and permits.

The proposed amendments that we submitted as part of the Development Agreement are as follows;

- Re-Phase the lots to Phase 1, East Phase & West Phase.
- Reconfigure the lot lines for the Cul-de- Sacs
- Eliminate a Stream Crossing
- Fill Lots # 2,4,6,8,& 10
- Eliminate the retaining walls on the Stream Crossing
- Reconfigure the sewer lines to serve lots at West Cul-de-Sac
- There may need to be some wetland & vernal pool mitigation
- Amend the Master Plan
- Amend the Covenants for East & West Phase

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P.O. Box 435
Stillwater, Maine 04489
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Bangor Regional Office
489 Odlin Road
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Bangor, Maine 04401
Phone 207/990-1735
Fax 207/990-2432

Mid-Atlantic Regional Office
11139 Air Park Road
Suite 1
Ashland, VA 23005
Phone 804/368-7118
Fax 804/368-7387

*Sargent Corporation is an Equal Opportunity, Affirmative Action Employer
Women and Minorities are encouraged to apply*

We have been working with our engineers at CES, Inc. to prepare the necessary documents to apply for these amendments. We have conducted wetland and vernal pool studies in accordance with current regulations and are preparing documents to amend the existing Maine Department of Environmental Protection and the Army Corps of Engineers approvals.

On July 9th the Hampden Planning Board Approved the Filling of Lots # 2, 4, 6, 8, & 10. This along with the other proposed amendments need to be incorporated into an updated Master Plan and an updated Subdivision Plan.

Attached is a Sketch Plan showing the re-configuration of the roadways with the addition of two Cul-de-Sacs (C101). This plan also shows the proposed phase adjustments, Cul-de-Sac locations, and wetland impacts. Also included in this submission are copies of the approved & recorded Master Plans and Final Subdivision Plans with the proposed changes identified.

Our proposal will also include amendments to the existing covenants for the East and West Phases which are currently being discussed with the Planning & Development Committee of the Hampden Town Council.

We look forward to discussing the details of these amendments with the Planning Board.

Sincerely,

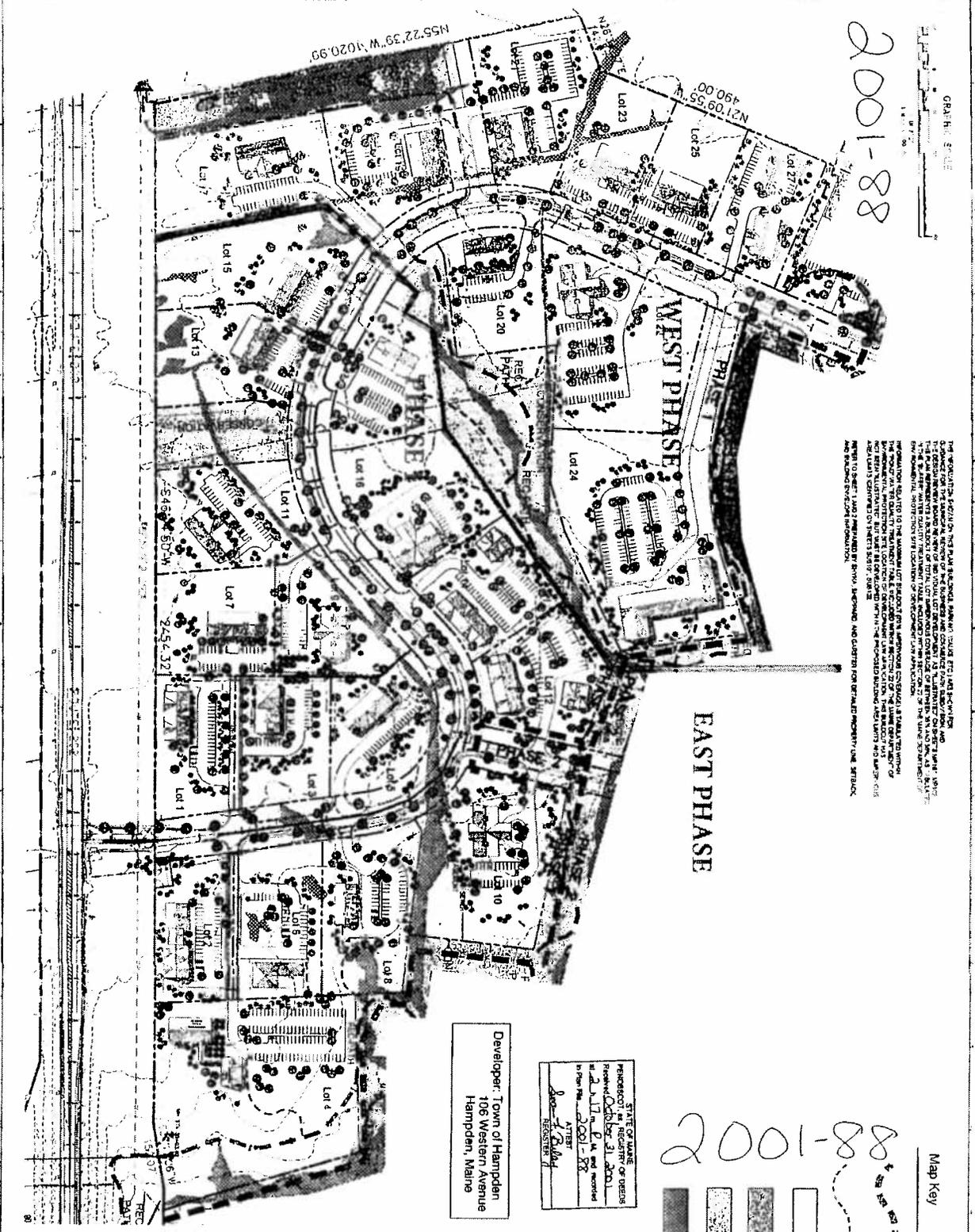


Chip Laite

Aggregate Resource Manager

claite@sargent-corp.com

207-827-4435 x 275



GRAPHIC SCALE
 1" = 100'

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EAST PHASE

Developer: Town of Hampden
 106 Western Avenue
 Hampden, Maine

DATE OF ISSUE
 PREPARED BY: REGISTERED PROFESSIONAL ENGINEER
 PROJECT: October 31, 2001
 DRAWN BY: P.A. and modified
 CHECKED BY: J.P. and modified
 IN CHARGE: J.P. and modified
 SCALE: AS SHOWN

- Map Key
- Future Pedestrian Trail and Connection to East Coast Greenway System
 - Suggested Private Connection to Walking Trail
 - Front "Signature Business" (High Employee Count)
 - Traditional "Rear Business" (Low Employee Count)
 - Conservation Area
 - Surveyed Wetland

WBRC ARCHITECTS & ENGINEERS
 1000 Main Street
 Portland, ME 04101
 (603) 875-1100

HAMPDEN BUSINESS & COMMERCE PARK
 MASTER PLAN
 PHASE 1

MP101

